



City of Mission Viejo

Planning and Transportation Commission Staff Report

Date: May 3, 2019

To: Planning and Transportation Commission

From: Larry Longenecker, Planning Manager through
Elaine Lister, Director of Community Development

For: Planning and Transportation Commission Meeting of May 13, 2019

Subject: General Plan Amendment GPA2018-32 / Zone Change ZC2018-21 / Planned Development Permit PDP2018-303 / Variance VAR2019-51 / and Tentative Tract Map TTM18187 - Petitions submitted by Shea Homes Limited Partnership to permit residential development on 6.73 acres of the total 10.3-acre Mission Foothill shopping center site located at 28715 Los Alisos Boulevard. The subject property would be rezoned from CH (Commercial Highway) to RPD 30 (Residential Planned Development) and 99,500 square feet of existing retail space would be demolished to accommodate a new 105-dwelling-unit, for-sale project including 44 detached single-family units and 61 attached townhome units. All homes would be three stories with an overall project density of 15.6 du/ac. Four existing freestanding retail buildings, located adjacent to Los Alisos Boulevard, would remain, with the residential development occurring to the northeast, between the retail buildings and the SR 241 toll road.

RECOMMENDED ACTION

- 1) Adopt Resolution recommending City Council approval of General Plan Amendment GPA2018-32 and Zone Change ZC2018-21, and adoption of the Initial Study/Mitigated Negative Declaration prepared for the proposal; and
- 2) Adopt Resolution recommending City Council approval of Planned Development Permit PDP2018-303, Variance VAR2019-51, and Tentative Tract Map TTM18187.

DISCUSSION

A. PROJECT SITE AND SURROUNDING LAND USES

The 10.3-acre Mission Foothill Marketplace is generally situated north of the Palmia senior residential community, south of the Foothill Transportation Corridor (SR-241) and the Upper Oso Reservoir, east of Los Alisos Apartments, and west of the currently vacant Housing Site A, with the Ayers Hotel beyond. The Mission Foothill shopping center is located at 28715 Los Alisos Boulevard, and is further described as Assessor Parcel Number 839-161-12. A vicinity map is provided as Attachment 3. The residential

development proposed by Shea Homes would comprise the rear 6.73-acre portion of the shopping center, directly adjacent to the 241 Toll Road and behind the existing retail buildings fronting on Los Alisos Boulevard, which would remain.

B. BACKGROUND

Historic Overview

When the City incorporated in 1988, the project site was originally part of Planning Area 17 of the Mission Viejo Planned Community Development Plan. Planning Area 17 was a 243-acre area designated for medium density residential uses. The area to the south of the site, across Los Alisos Boulevard, was built out with approximately 900 attached and detached, senior only dwelling units (Palmia) which were approved by the County of Orange and the City during the period from 1987 to 1989. In 1991 the City of Mission Viejo City Council approved Zone Change ZC91-5 which changed the land use designation of the northern portion of Planning Area 17 from medium density residential to highway commercial. This 47-acre highway commercial area was referred to as Planning Area 38 (Attachment 4), with a total of 650,000 square feet of commercial building area permitted (Area Plan AP91-6P).

In 1992 the City's Planning Commission approved Site Plan SP92-111P, submitted by the Mission Viejo Company to construct a 120,000-square-foot major retail building, initially occupied by Kmart, on a 10.6-acre portion of Planning Area 38. In 1997, First Plus Direct converted the former Kmart store to office use. In 1995 the Planning Commission approved Site Plan SP95-209P, submitted by Doerken Properties, Inc. to construct the Mission Foothill Marketplace, with 148,000-square-feet of building area permitted on 14.8 acres, located immediately east of the Kmart site.

In 1998 the City Council approved General Plan Amendment GPA98-11 and Zone Change ZC98-12 to change the zoning on the western-most 13.9-acre undeveloped portion of Planning Area 38, from highway commercial, back to residential, to accommodate the 230-unit Madrid Apartments (Area Plan AP98-24P and Site Plan SP98-98-316P). Also in 1998 the City Council approved the three-story, 115-room Ayers Suites, which was expanded in 2007 to include the 3-story, 90-room Ayers Hotel and Spa, both hotels built on a 4.5-acre site located in the eastern-most portion of Planning Area 38, near the intersection of Los Alisos Boulevard and the SR 241 Toll Road.

In 2000, the Planning and Transportation Commission approved a modification to Site Plan SP95-209P, permitting a future 8,000-square-foot retail building and denying a 5,500-square-foot Winston tire store proposed at a vacant site within the Mission Foothill Marketplace shopping center, located just west of the Ayers Hotel site and fronting Los Alisos Boulevard. The parcel remains vacant and while another tire store application was recently in process with the City (PDP2017-299, American Tire Depot), the applicant withdrew the application in February 2019.

In 2004, the City Council approved General Plan Amendment GPA2004-23 and Zone Change ZC2004-16 to change the general plan and zoning designation of the Kmart site from “CH” (Commercial Highway) back to residential, specifically to RPD 30 (Residential Planned Development). The Council also approved PDP2004-130, VAR2004-27, and TTM16788 for the demolition of the approximately 120,000-square-foot vacant Kmart building and construction of 250 for-sale townhome units. The approved project was never built, however, and the development entitlements expired. In 2011 the City Council approved PDP2010-232 and ME2011-99 for demolition of the vacant Kmart building and construction by UDR of the 320-unit Los Alisos Apartments.

In 2008, in conjunction with a Housing Element Update to bring the City’s Housing Element into compliance with state law, the City Council approved Zone Change ZC2007-18, Development Code Amendment DCA2007-10, and General Plan Amendment GPA 2007-26, to change the zoning and general plan designation of a vacant 2.86-acre parcel within the Mission Foothill Marketplace shopping center from CH (Commercial Highway) back to residential, specifically to RPD 30A (Residential Planned Development - Affordable) This parcel is known as Housing Site A and applications (PDP2015-285 and ME2015-111, South Coast Communities LLC) are currently being processed with the City to permit development of 60 for-sale townhome units on the site, including 15% of the units as affordable to low and very-low-income households, in accordance with the RPD-30A zoning for the site.

C. PROPOSED GENERAL PLAN AMENDMENT / ZONE CHANGE

General Plan Amendment GPA2018-32 would change the subject site’s land use designation from Commercial Highway to Residential 30, and Zone Change ZC2018-21 would change the subject site’s zoning from CH (Commercial Highway) to RPD 30 (Residential Planned Development), to accommodate residential development with a density between 14.1 and 30 dwelling units per acre. The 105-unit project proposed by Shea Homes on the 6.73-acre subject site would result in a project density of 15.6 dwelling units per acre. If the project is approved, the City’s General Plan Land Use Policy Map and Development Code Zoning Map will be revised to reflect the new residential designations, as shown in Attachments 5 & 6, respectively. The City Council is the final decision-making authority for General Plan Amendment and Zone Change applications. Therefore, the action taken by the Planning and Transportation Commission on this proposal will be forwarded to the City Council as a recommendation.

The boundaries of the project site, upon which the proposed site plan is based, requires recordation of a lot line adjustment (LLA) that will move the eastern edge of the subject property slightly east, into a small portion of the adjacent Housing Site A (Attachment 7). Housing Site A is zoned RPD30A (Residential Planned Development, Affordable). Therefore, to account for the zone change of the small portion of the Shea site that is currently a small portion of Housing Site A, the proposed ZC2018-21 technically contemplates a zone change from CH (Commercial Highway) *and* RPD30A (Residential

Planned Development, Affordable) to RPD30 (Residential Planned Development). The project environmental document (previously provided to the Commission) and the project resolutions include this more technical distinction. The required LLA is included as a project condition of approval (No 15) in the draft resolution (Attachment 3), with recordation of the LLA required prior to issuance of a grading permit for the project.

GPA2018-32 is consistent with other elements of the General Plan, including the Land Use Element, which anticipates a total City population of 97,745 at build-out. The City's population in 2018 was 95,987 (CA Department of Finance). With an average of 2.85 persons per household in Mission Viejo, the 105-unit proposed project is anticipated to house approximately 300 new Mission Viejo residents, representing 0.31 percent of the current population in Mission Viejo. With the project, the total City population would be approximately 96,287, below the 97,745-population anticipated in the General Plan Land Use Element (Table LU-3, Attachment 8).

D. PROJECT DETAIL
General Description

Planned Development Permit PDP2018-303, Variance VAR2019-51, and Tentative Tract Map TTM18187 are petitions submitted by Shea Homes Limited Partnership to demolish 99,500 square feet of existing commercial retail space, a portion of the existing Mission Foothill shopping center, and construct 105 for-sale dwelling units, including 44 single-family detached homes and 61 townhome units, at the subject 6.73-acre site. The single-family homes would be located behind the four existing retail buildings along Los Alisos Boulevard, which comprise the portion of the Mission Foothill shopping center that will remain. A 6-foot-tall block wall with landscaping will separate the commercial parking lot and the single-family development. The townhome units are proposed behind the single-family units, adjacent to the 241 Toll Road. Project plans are provided in Attachment 9 (full size plans provided separately to Planning and Transportation Commission) and the applicant's letters of explanation are provided in Attachment 10.

All 44 single-family homes would be 3 stories, each with a private yard, a roof deck, and standard 2-car garage. The single-family homes are proposed with 3 different floor plans, ranging in size from 1,898 to 2,127 square feet, each with 3 bedrooms and an optional 4th bedroom.

The proposed 3-story townhomes are clustered in a total of 11 buildings, with 5, 6 or 8 units in each building. The townhomes are proposed with 3 different floor plans: Plan 1 is 1,215 square feet with 2 bedrooms, a tandem 2-car garage, and approximately 150 square feet of private outdoor space; Plan 2 is 1,950 square feet with 3 bedrooms, a standard 2-car garage, and approximately 210 square feet of private outdoor space; Plan 3 is 1,880 square feet with 3 bedrooms, standard 2-car garage, and approximately 270 square feet of private outdoor space.

Three public gathering areas are proposed throughout the site including: a recreation area located near the project entrance with swimming pool, spa and seating/lounging areas; a gathering space located in the middle of the project with tot-lot and seating areas; and another gathering space with barbeques and seating areas. A central paseo (no fences or walls) runs between the single-family and the townhome development. The paseo connects to the pool area located at the east side of the development, near the project entrance, and to the tot-lot area at the west side of the project. There is no leasing or management office proposed on site because the units will be privately owned.

Architecture and Design

The applicant's architect, WHA Architects, indicates the architecture of the single-family homes includes Tuscan, Spanish and Farmhouse styles, with a progressive spin to create a contemporary look. The Tuscan-inspired elevations incorporate features such as tiled roofs, stone accents, rectangular forms, and window enhancements. The color and material palette comprises warm earth tones, consistent with traditional Tuscan homes.

The Spanish-inspired homes identifiable design features include traditional "S" tile roofs, structural archways, vents, and enhanced trim details such as pot shelves and tile accents. The Spanish-inspired homes of Mission Foothills reflect the authentic style with use of stucco and warm to light color tones.

The Farmhouse-inspired homes are identified by steeper roof pitches and board and batten siding, along with shutters and divided-lite windows. The Farmhouse style includes some brighter colors to enhance exterior walls. The flat concrete tile roof material and rafter tails provide visual diversity from the other architectural styles.

Similar to the detached homes, the attached townhome buildings project a Tuscan-inspired architectural style with features such as tile roofs, a warm color palette, and stone detailing. The townhome product is designed to be unified and compatible with the single-family homes within the development, creating a cohesive but unique neighborhood identity.

Various green building components have been incorporated into the site design, including: low-water plumbing fixtures; energy-conserving heating and cooling systems; provisions for future solar panels on the single-family homes; electric vehicle charging stations on all homes; energy efficient LED lighting with automatic controls; Smart thermostats; EnergyStar appliances; storm water filtration; and all landscape irrigation using reclaimed water with Smart controllers.

Access and Parking

Vehicular access to the site is through an existing signalized entrance from Los Alisos Boulevard, to a two-lane drive aisle that leads past the retail site, directly to the single project entrance at the eastern edge of the site, which is ungated. A single loop road within the project provides access around the entire site and to short alleyways from which all of the project garages are directly accessed.

A series of paths provide pedestrian circulation throughout the site. Pedestrian access to the site is available from the existing sidewalk on Los Alisos Boulevard, a new sidewalk proposed to connect the commercial site directly to the project site, as well as an existing pedestrian bridge that currently connects the subject site with the Los Alisos Apartment project to the west. (See Condition of Approval No. 94, in Attachment 3, regarding the bridge.)

Each of the 105 residential unit includes two covered spaces within a private enclosed garage, as required by Code, for a total of 210 private parking spaces. Each garage provides direct access to the dwelling unit. In addition, guest parking is required at the ratio of one guest space for every three dwelling units, for a total 35 guest parking spaces required. The applicant proposes 65 guest spaces including 22 parallel spaces and 43 perpendicular spaces. A surplus of 30 guest parking spaces is proposed, for a total of 275 residential parking spaces provided on site. Parking for the remaining commercial development is discussed later in this report.

Traffic

A trip generation analysis dated January 3, 2019 (Attachment 11), was prepared for the project by the applicant's environmental consultant, LSA. The analysis compares traffic anticipated for the proposed residential development with traffic typically (when occupied) generated by the existing retail development being replaced, using the Institute of Transportation Engineers 2017 Trip Generation Manual. The analysis concluded that the proposed residential development would generate fewer trips than the commercial development, including 33 fewer trips in the a.m. peak hour and 301 fewer trips in the p.m. peak hour. Based on this analysis, a more detailed traffic analysis is not warranted, as determined by the City's Traffic Engineer.

Commercial Center

A portion of the Mission Foothill shopping center will remain, comprising the four existing buildings that front on Los Alisos Boulevard, including Shabu, Piccolino, and Ball Park Pizza restaurants, as well as Massage Envy and a fitness facility. The four buildings total 26,692 square feet and the mix of uses generate a parking demand of 211 spaces, according to a parking study prepared for the project by LSA (Attachment 12). A new parking lot for the commercial center is proposed by the applicant, including new parking space layout, circulation, and landscaping throughout. The new commercial area parking lot will provide 222 parking spaces, for a surplus of 11 parking spaces provided.

Landscape /Recreation Plan

The conceptual landscape plans (Attachment 9) for the project include: perimeter landscape with screened privacy wall separating the commercial and residential areas; enhanced project entry including monumentation, decorative paver ground treatment, and trees to match the adjacent City Lane project; a central paseo between the single-family homes and townhomes with entry and decorative trellis structures with vine plantings; and enhanced landscaping at the recreational amenities including pool area, tot-lot, and BBQ area. The proposed landscape coverage for the site is 28 percent.

Local Park Code

In addition to the on-site recreational amenities discussed above, the project is required to provide parkland, or park in-lieu fees, in accordance with the City’s Local Park Code (Municipal Code Chapter 9.85). As an incentive to provide lower-income affordable housing, and consistent with the City’s General Plan Housing Element (Chapter 6, Housing Plan; Section 15, Development Fees, Attachment 13) staff recommends waiving the park in-lieu fee for the 16 low- and very-low-income affordable units provided for the project (see Affordable Housing discussion later in this report). Additionally, on-site recreational amenities provided with the project, including the pool and tot-lot areas, are counted as credit toward the City’s parkland requirement. (See Condition of Approval No. 12, in Attachment 3, regarding park fees).

E. PROJECT STATISTICS

The following table provides a statistical summary for the proposed residential project:

<u>Development Standard</u>	<u>Required</u>	<u>Proposed</u>
Site Area	5,000 s.f. / .15 ac min.	293,159 s.f. / 6.73 ac
Density (dwelling unit/acre)	14.1 – 30 du/ac	15.6 du/ac
<u>Building Setback:</u>		
Front	30 ft. min.	10 ft. to property line* / > 200 ft. to Los Alisos r.o.w.
West Side	15 ft. min.	25 ft.
East Side	15 ft. min.	30 ft.
Rear	30 ft. min.	30 ft.
Parcel Coverage	50% max	31.2%
Distance Between Buildings	20 ft. min.	6 ft. *
Building Height	35 ft. max	42’ – 6’’ *
Off-street Parking	2 covered enclosed spaces per unit, min. (210 spaces) 1 guest space for every three units (35 spaces) Total min. (245 spaces)	2 garage spaces per unit**, 210 private spaces total 65 guest parking spaces Total 275 spaces
Landscaping	15% min. of site area	28%
Private Outdoor Living Space	80 sq. ft. min.	Btwn. 143 – and 274 sq. ft.
* Requires variance consideration, discussed below.		
** Tandem garage parking for townhome Plan 1 requires variance consideration		

F. VARIANCE

Variance VAR2019-51 is submitted to permit deviations from the below-listed Development Code standards, with the specific justifications provided. It should be noted that relief from the City’s Development Code standards is provided for in the City’s General Plan Housing Element (Section 4.1,1,b, Governmental Constraints, Land Use Plans and Regulations, Attachment 14) as an incentive to facilitate provision of affordable housing and to enhance affordable project feasibility. In accordance with the Housing Element, the proposed modifications listed below are eligible for consideration through the Planned Development Permit process, to “*permit nontraditional or unique site plan design if found appropriate by the Planning and Transportation Commission*”.

Front Building Setback

The residential project is proposed with a 10-foot setback from the front property line, where a minimum of 30 feet is otherwise required. However, the residential site is proposed in the rear portion of the existing retail center, facing Los Alisos Boulevard but set back over 200 feet from that right-of-way, from where front setbacks are typically measured. In addition, the homes along the project ‘frontage’ with the commercial center are set back 20 feet from the nearest parking stalls and 10 feet to the property line, where a six-foot-tall wall separates the commercial parking lot from the single-family homes, with an additional ten feet of landscaping on the retail side of the wall, to further buffer the residential and commercial uses.

Distance Between Buildings

All of the townhome buildings comply with the minimum 20-foot building separation Code requirement. However, the applicant proposes a minimum 6 feet between the single-family units, where a minimum of 20 feet is technically required in accordance with the RPD30 zone. For comparison, the Development Code requires a minimum 10-foot separation between dwelling units in the City’s single-family zoning districts. The applicant indicates the proposed single-family detached product is high-density detached, similar to a townhome product, that has been separated to create a detached home with a small yard. The product provides an opportunity for residents to own a single-family home at a more attainable price than would be seen in more traditional neighborhoods with standard setback requirements. The applicant indicates that high-density detached homes have become more common in nearby communities including Costa Mesa, Newport Beach and Irvine. The proposed 6-foot separation between the project’s single-family homes complies with the City-adopted California Building Code.

Building Height

On both the detached homes and attached townhomes, a building height of 42’- 6” and three stories is proposed where a maximum of 35 feet and two stories is otherwise allowed. The smaller building footprints proposed allow a final product that is more attainable to home buyers, who may be first-time purchasers or empty-nesters looking to downsize. The smaller building footprint necessitates a 3-story product to achieve

adequate home sizes. In addition, a ceiling height of 9 feet is proposed on each floor, to preserve a high-quality, more livable product, that adds to the overall building height. Parapets are included that screen mechanical equipment on the attached townhomes, and roof decks provided on the detached product, further contribute to the final building height. The residential development is set back over 200 feet from Los Alisos Boulevard; therefore, the additional building height does not create massing or view impacts as viewed from the street or surrounding development. Photo simulations are provided in Attachment 15. In addition, the proposed height is similar to the adjacent Los Alisos Apartments development, to the west, built at a height of 40' – 3" and three stories, and the adjacent Housing Site A application, proposed at a height of 43 feet and three stories.

Tandem Parking

The City's Development Code Section 9.25.005(a) requires off-street parking that is independently accessible and Section 9.25.030(c,3) requires private residential garages with a minimum 20-foot width to accommodate parking for two side-by-side vehicles. All the single-family garages are proposed with independently accessible, side-by-side parking consistent with the Code standards. Similarly, the Plan 2 and Plan 3 townhomes provide side-by-side private garages for each unit. However, the 19 Plan 1 townhome units are proposed with a tandem garage configuration, with one parking space located in front of the other.

Tandem parking allows design flexibility, to provide more units within the same building footprint, and related cost-saving benefits that make provision of affordable housing more feasible. The majority of the Plan 1 townhomes will comprise the project's lower-income affordable units which include 9 very-low and 7 low-income affordable units. In addition, the state's affordable housing density bonus provisions, adopted by the City of Mission Viejo (Development Code Section 9.10.020,b,3,g,ii) state that an affordable housing development may provide on-site parking through tandem parking. Finally, the project CC&Rs will require proactive garage inspections, to occur at minimum every 6 months, to ensure all garage spaces are being used for parking purposes (see Condition of Approval No. 8, Attachment 3).

G. AFFORDABLE HOUSING

As part of the project proposal, the applicant will provide 16 units (15% of the total 105 units) as affordable to lower-income households, including 9 very-low-income units and 7 low-income units (the same ratio of very-low to low as the City's RHNA obligation). The applicant, in coordination with the City, will develop and administer an Affordable Housing Agreement for provision of 9 very-low income units and 7 low-income units. Conditions of Approval Nos. 104 and 106 of the draft resolution (Attachment 3) deal specifically with the affordable housing requirements.

The 15% lower-income affordability proposed is equal to the affordability required for residential development of the City's Housing Sites A and B, rezoned in 2008 to accommodate the City's regional housing obligations, as determined by the State of California through the Regional Housing Need Assessment (RHNA) included in the City's Housing Element of the General Plan. In addition, the City's Housing Element includes specific goals that encourage provision of lower-income affordable units specifically. Housing Element Policy 1.2 encourages "*a variety of public and private efforts in providing affordable housing opportunities to area residents, particularly for lower income households...*". The Housing Element also calls for incentives such as fee waivers and expedited processing for development with an affordable housing component. Policy 1.5 states that "*Where an established percentage of the dwelling units of a project are devoted to lower income households, provide incentives such as density bonus, tax-exempt financing, waiver of fees, assistance with development of on- or off-site improvements, and reductions in minimum parking requirements.*" Accordingly, staff recommends waiving the Local Park Code in-lieu fee (discussed earlier in this report) applicable to the 16 low- and very-low-income affordable units provided with the project.

In terms of future housing affordability requirements, recent housing legislation will affect the City's upcoming RHNA obligation, likely substantially increasing the City's RHNA obligation for the 2021-2029 housing cycle. The RHNA methodology for the next housing cycle is currently being discussed and formulated by SCAG boards and working groups, including new legislation to address existing housing need during the next housing cycle, in addition to projected housing need addressed in previous RHNA cycles. The RHNA methodology will also include a social equity provision that adjusts the number of lower-income units a City must accommodate, with fewer lower-income units assigned to over-burdened communities (cities with more existing affordable units than the county average) and a higher share of lower-income units assigned to jurisdictions with fewer (than the County average) existing lower-income units. While recent residential development within the City has included both low- and very-low-income affordable units, Mission Viejo currently has fewer lower-income units than the County average. Based on new housing legislation and pending RHNA methodology for the upcoming 2021-2029 housing cycle, the City can expect both a higher overall RHNA obligation and a higher proportion of lower-income units compared to moderate and above-moderate units. And, importantly, low- and very-low income housing affordability achieved during the current housing cycle will affect the City's future obligation to provide more (or fewer) lower-income affordable units during the upcoming housing cycle.

H. ENVIRONMENTAL REVIEW

The project Initial Study/Mitigated Negative Declaration (IS/MND) has been prepared pursuant to the California Environmental Quality Act (CEQA and CEQA Guidelines). The IS/MND document (previously provided to the Commission) dated April 2019, prepared by consultant LSA, includes the project setting and description, initial study

checklist, and an environmental evaluation. The IS/MND has determined that if the proposed conditions and mitigation measures are applied to the project, there will not be a significant effect on the environment. Copies of the IS/MND and other project information were available for public review at City Hall, the Mission Viejo Library, and on the City's website, with a formal 20-day public review period starting on April 18, 2019 and ending on May 7, 2019. A notice of IS/MND availability for public review was posted in the *Saddleback Valley News*, and notice of intent was provided to responsible and interested agencies, on April 18, 2019.

CEQA Guidelines (Section 15074) state that the role of the Planning and Transportation Commission is to consider the proposed IS/MND together with any comments received during the public review process. The Planning and Transportation Commission public hearing, pursuant to the California Environmental Quality Act (CEQA), provides interested parties the opportunity to comment on the project. The Commission should recommend the City Council adopt the proposed IS/MND only if it finds that there is no substantial evidence that the project will have a significant effect on the environment and that the IS/MND reflects the Commission's independent judgment and analysis. The Response to Comments received on the project IS/MND, prepared by LSA and dated May 2019, is provided as Attachment 16. The IS/MND mitigation monitoring program is provided as Attachment 17.

I. DESIGN REVIEW COMMITTEE

The Design Review Committee (DRC), consisting of Vice Chair Breton and Commissioner Ruesch, reviewed the proposal on April 10, 2019. While not legally required, a courtesy notice was mailed to all property owners within a 500-foot project radius and provided to surrounding residential homeowner associations. The applicant presented an overview of the proposed project and responded to questions from staff, Commissioners, and the public. Meeting minutes for the April 10 DRC are provided in Attachment 18.

J. NOTICE

Notice of the May 13, 2019 Planning and Transportation Commission public hearing (Attachment 19) was sent to all property owners and tenants within a 500-foot radius of the project site, placed in the *Saddleback Valley News* on April 18, 2019, and posted as required by state and local law. In addition, public notice was sent to nearby residential homeowner associations including Palmia, Pinecrest, California Court/ Terrace, and Painted Trails. A copy of the project IS/MND was also available at City Hall, the Mission Viejo Library, and on the City's website, starting April 18, 2019. Notice of the meeting was also hand delivered to all tenants within the shopping center and sent to the applicant of Housing Site A.

ATTACHMENTS

1. Draft resolution recommending City Council approval of GPA2018-32 and ZA2018-21
2. Draft resolution recommending City Council approval of PDP2018-303, VAR2019-51, and TTM18187
3. Vicinity map
4. Planning Area 38 - Mission Viejo Planned Community Development Plan
5. General Plan Land Use Policy Map – Existing and Proposed, marked Exhibit “A”
6. Development Code Zoning Map – Existing and Proposed, marked Exhibit “B”
7. Project site boundary (with existing zoning)
8. Land Use Element Table LU-3
9. Project plans (site, elevations, floor plans, color/materials, landscape, civil, and subdivision map) dated 5/13/19 and marked Exhibit “C”
10. Applicant letters of explanation/justification dated 4/22/19 and 5/02/19 from Brooke Doi with Shea Homes
11. Trip generation analysis prepared by LSA, dated 1/03/19
12. Parking study prepared by LSA, dated 5/02/19
13. General Plan Housing Element Chapter 6, Housing Plan; Section 15, Development Fees, excerpt
14. General Plan Housing Element Chapter 4, Section 4.1,1,b, Governmental Constraints, Land Use Plans and Regulations, excerpt
15. Photo simulations prepared by Fuscoe Engineering
16. IS/MND Response to Comments prepared by LSA, dated 5/08/19
17. IS/MND mitigation monitoring program, dated May 2019 and marked Exhibit “D”
18. Meeting minutes for 4/10/19 Design Review Committee meeting
19. Public hearing notice
20. Planning application

SEPARATE ATTACHMENTS TO COMMISSION

1. Initial Study & Mitigated Negative Declaration, dated April 2019, prepared by LSA (available on City’s website (<https://cityofmissionviejo.org/departments/community-development/mission-foothill-residential-applicant-shea-homes>) and in the City’s Community Development Department)
2. Large Scale plans (hand delivered to Commissioner’s and available for review in the Community Development Department)

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RESOLUTION 2019-XXX

A RESOLUTION OF THE CITY OF MISSION VIEJO PLANNING AND TRANSPORTATION COMMISSION RECOMMENDING THAT THE CITY COUNCIL APPROVE GENERAL PLAN AMENDMENT GPA2018-32, BEING A PETITION SUBMITTED BY SHEA HOMES LIMITED PARTNERSHIP TO CHANGE THE GENERAL PLAN LAND USE DESIGNATION FROM COMMERCIAL HIGHWAY TO RESIDENTIAL 30, AND TO APPROVE ZONE CHANGE ZC2018-21, BEING A PETITION SUBMITTED BY SHEA HOMES LIMITED PARTNERSHIP TO CHANGE THE ZONING MAP DESIGNATION FROM CH (COMMERCIAL HIGHWAY) AND RPD 30A (RESIDENTIAL PLANNED DEVELOPMENT, AFFORDABLE) TO RPD 30 (RESIDENTIAL PLANNED DEVELOPMENT), FOR 6.73 ACRES OF PROPERTY LOCATED AT 28715 LOS ALISOS BOULEVARD, FURTHER DESCRIBED AS A PORTION OF ASSESSOR PARCEL NUMBER 839-161-12.

WHEREAS, General Plan Amendment GPA2018-32 and Zone Change ZC2018-21 were initiated by Shea Homes Limited Partnership in accordance with the provisions of the City of Mission Viejo Municipal Code; and

WHEREAS, Planned Development Permit PDP2018-303, Variance VAR2019-51, and Tentative Tract Map TTM18187 (hereafter "Related Applications") were submitted in conjunction with GPA2018-32 and Zone Change ZC2018-21; and

WHEREAS, GPA2018-32 proposes changing the General Plan land use designation of the 6.73-acre subject site from Commercial Highway to the Residential 30; and

WHEREAS, ZC2018-21 proposes changing the zoning map designation of the 6.73-acre subject site from CH (Commercial Highway) and RPD 30A (Residential Planned Development, Affordable) to RPD 30 (Residential Planned Development); and

WHEREAS, GPA2018-32, ZC2018-21, and the Related Applications constitute the "Proposed Project," which consists of 105 dwelling units on an approximately 6.73-acre site generally situated northerly of the Palmia retirement community, southerly of the Foothill Transportation Corridor (SR-241), easterly of the UDR Apartments, and westerly of the vacant Housing Site A; and

WHEREAS, an Initial Study/Mitigated Negative Declaration (IS/MND) was prepared for the Proposed Project by the City of Mission Viejo pursuant to the requirements of the California Environmental Quality Act and the State CEQA Guidelines to address the environmental effects and mitigation measures associated with the Proposed Project, including a Mitigation Monitoring and Reporting Program referenced as Exhibit "D" herein; and

WHEREAS, the boundary of the subject property, upon which GPA2018-32 and ZC2018-21 apply, as depicted in Exhibit "A" and Exhibit "B" herein, respectively, require recordation of a lot line adjustment. If said lot line adjustment is not recorded within one year from the date of City Council adoption of both GPA2018-32 and ZC2018-21, the City will initiate General Plan Amendment and Zone

Change processes to restore the land use and zoning designations of the subject property that existed prior to GPA2018-32 and ZC2018-21; and

WHEREAS, PDP2018-303, VAR2019-51, TTM181817, and the project IS/MND were processed in the time and manner prescribed by state and local law; and

WHEREAS, notice of IS/MND public availability and a public hearing regarding the Proposed Project was published in the *Saddleback Valley News* on April 18, 2019, sent to all neighboring public agencies, sent to all property owners and tenants within a 500-foot radius, and posted as required by state and local law; and

WHEREAS, a 20-day IS/MND public review period started on April 18, 2019 and ended on May 7, 2019. Copies of the draft IS/MND were available for review at the Mission Viejo Library, City of Mission Viejo Community Development Department, and on the City website; and

WHEREAS, the Planning and Transportation Commission conducted a duly noticed public hearing on May 13, 2019, at which time interested parties had an opportunity to testify either in support of, or in opposition to, the Proposed Project.

NOW, THEREFORE, THE PLANNING AND TRANSPORTATION COMMISSION OF THE CITY OF MISSION VIEJO DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1 - FINDINGS

That the City of Mission Viejo Planning and Transportation Commission hereby recommends that the City Council find as follows:

1. That the proposed amendment is internally consistent with the general plan.
2. That the proposed amendment would not be detrimental to the public interest, health, safety, convenience, or welfare of the city.
3. That the proposed amendment would maintain the appropriate balance of land uses within the city.
4. That the subject parcel(s) is physically suitable (including, but not limited to, access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested/anticipated land use development(s).
5. That a mitigation monitoring program has been adopted, pursuant to state law (Public Resources Code § 21081.6), and chapter 2 (Environmental Quality).
6. That the data and analysis upon which these findings of fact are based, including those in this resolution are set forth in the staff report and initial study for GPA2018-32, staff's oral presentation, public testimony, and Commissioner comments which constituted the Planning and Transportation Commission's review of this application.

SECTION 2 - ENVIRONMENTAL REVIEW

Environmental issues related to the Proposed Project are discussed in the environmental review document entitled: “Initial Study/Mitigated Negative Declaration, Mission Foothills Residential Project” dated April 2019 (hereafter the “IS/MND”). The Commission hereby finds and determines that the Proposed Project produces no greater impacts than those described in the IS/MND. The Commission further finds and determines that the mitigation measures set forth in the IS/MND are sufficient to mitigate all potentially significant impacts to less than significant levels. Therefore, the requirements of the California Environmental Quality Act (CEQA) have been met. After examining the IS/MND and taking public comment on the Proposed Project and IS/MND, the Commission, in its independent judgment, finds that potential significant adverse impacts can be mitigated to a level of insignificance with the mitigation measures identified in the IS/MND. Therefore, the Commission recommends that the City Council adopt the project IS/MND in conjunction with the project. The mitigation measures are found in the IS/MND and in the conditions set forth in the resolution for the Related Applications constituting the Proposed Project. The mitigation is structured to include appropriate monitoring as set forth in the Mitigation Monitoring and Reporting Program, referenced as Exhibit “D” herein.

SECTION 3 - APPROVAL OF AMENDMENT

The Planning and Transportation Commission recommends that the City Council adopt the Project IS/MND, General Plan Amendment GPA2018-32 and Exhibit “A”, “Proposed Land Use Policy Map”, dated May 13, 2019 and adopt Zone Change ZC2018-21 and Exhibit “B”, “Proposed Zoning District Map”, dated May 13, 2019. As part of this action the City of Mission Viejo General Plan Land Use Policy Map, Table LU-3 of the Land Use Element, and the City of Mission Viejo Zoning Districts Map will be amended to reflect the proposed change in land use designations

PASSED, APPROVED, AND ADOPTED THIS 13th DAY OF MAY, 2019.

Joseph C. Blum, Chairman

Elaine Lister, Secretary

RESOLUTION 2019-XXX

A RESOLUTION OF THE CITY OF MISSION VIEJO PLANNING AND TRANSPORTATION COMMISSION RECOMMENDING THAT THE CITY COUNCIL APPROVE APPLICATIONS FOR, PLANNED DEVELOPMENT PERMIT PDP2018-303, VARIANCE VAR2019-51, AND TENTATIVE TRACT MAP TTM18187 FOR A PROPOSED RESIDENTIAL DEVELOPMENT OF 105 DWELLING UNITS ON APPROXIMATELY 6.7 ACRES OF PROPERTY LOCATED AT 28715 LOS ALISOS BOULEVARD, FURTHER DESCRIBED AS ASSESSOR PARCEL NUMBER 839-161-12

WHEREAS, Planned Development Permit PDP2018-303, Variance VAR2019-51, and Tentative Tract Map TTM 181817 (together, “Application”) were filed by Shea Homes Limited Partnership (“Applicant”) in accordance with the provisions of the City of Mission Viejo Municipal Code relating to the proposed residential development of 105 dwelling units on approximately 6.73 acres of property located at 28715 Los Alisos Boulevard, Assessor Parcel Number 839-161-12, and generally situated northerly of the Palmia retirement community, southerly of the Foothill Transportation Corridor (SR-241), easterly of the UDR Apartments, and westerly of the vacant Housing Site A (“Project Site”); and

WHEREAS, residential development of the Project Site is not permitted by the City of Mission Viejo General Plan land use designation and zoning; therefore in accordance with the City of Mission Viejo Municipal Code, Applicant also filed related land use applications for General Plan Amendment GPA2018-32 and Zone Change ZC2018-21 (together, “Related Applications”) proposing to amend the General Plan land use designation of the Project Site from Commercial Highway to Residential 30 and change the zoning of the Project Site from CH (Commercial Highway) and RPD 30A to RPD 30 (Residential Planned Development), to permit residential land uses on the Project Site; and

WHEREAS, together, Shea Homes Limited Partnership’s Application and Related Applications constitute the “Proposed Project” on the Project Site; and

WHEREAS, in connection with this Proposed Project, the Applicant/Developer will include sixteen (16) affordable housing units among the 105 units in the Proposed Project that Applicant will cause to be offered for sale to and owned and occupied by persons and families of Low Income and Very Low Income at an Affordable Housing Cost for a 30-year Affordability Period, with nine (9) of the 16 units to be sold to, owned, and occupied by Very Low Income Households and seven (7) of the 16 units to be sold to, owned, and occupied by Low Income Households (together, “Affordable Units”) as such terms are defined in Health & Safety Code Sections 50052.5, 50079.5, 50093 and 50105 with such Affordable Units more specifically described in the conditions of approval that are a part of this Resolution, including without limitation Conditions 104 to 106, inclusive; and

WHEREAS, an Initial Study/Mitigated Negative Declaration (IS/MND) was prepared for the Proposed Project by the City of Mission Viejo pursuant to the requirements of the California Environmental Quality Act and the State CEQA Guidelines to address the environmental effects and mitigation measures associated with the Proposed Project, including a Mitigation Monitoring and Reporting Program, referenced as Exhibit “D” herein; and

WHEREAS, the Application and the Mitigated Negative Declaration for the Proposed Project were processed in the time and manner prescribed by state and local law; and

WHEREAS, the Proposed Project was considered by the Planning and Transportation Commission Design Review Committee at a noticed meeting on April 10, 2019; and

WHEREAS, notice of IS/MND public availability and notice of a public hearing regarding the Proposed Project was published in the *Saddleback Valley News* on April 18, 2019, sent to all neighboring public agencies, sent to all property owners and tenants within a 500-foot radius of the Project Site, and posted as required by state and local law; and

WHEREAS, a 20-day IS/MND public review period started on April 18, 2019 and ended on May 7, 2019, and copies of the draft IS/MND were available for review at the Mission Viejo Library, City of Mission Viejo Community Development Department, and on the City website; and

WHEREAS, the Planning and Transportation Commission conducted a duly noticed public hearing on May 13, 2019, at which time interested parties had an opportunity to testify in support of, or in opposition to, or neutral to the Proposed Project.

NOW, THEREFORE, THE PLANNING AND TRANSPORTATION COMMISSION OF THE CITY OF MISSION VIEJO DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1 - FINDINGS

1. That the City of Mission Viejo Planning and Transportation Commission hereby recommends that the City Council find as follows regarding PDP2018-303:
 - (a) That the proposed residential development is consistent with the contemplated General Plan land use designation of Residential 30 and RPD 30 (Residential Planned Development) zone.
 - (b) That the 105-unit residential Proposed Project is permitted within the contemplated residential zoning district and complies with the applicable provisions of the City of Mission Viejo Municipal Code, including City Development Code (together, "City Code").
 - (c) That the Project Site is physically suitable for the type and intensity of the land use being proposed.
 - (d) That the 105-unit residential Proposed Project is harmonious and compatible with existing and future developments within the zoning district and general area.

- (e) That there are adequate provisions for water, sanitation, and public utilities and services to ensure that the Proposed Project is not detrimental to public health and safety.
 - (f) That there is adequate public access to serve the 105 dwelling units of the Proposed Project.
 - (g) That the location, size, design and operating characteristics of 105-unit residential Proposed Project are not detrimental to the public interest, health, safety convenience or welfare of the City of Mission Viejo.
 - (h) That the “Local Park Code” (Chapter 9.85 of City of Mission Viejo Municipal Code) requirements can be met by the allocation of park land, park improvements, and park fees.
 - (i) That the approval of the Planned Development Permit for the construction of the Proposed Project complies with the requirements of the California Environmental Quality Act.
 - (j) That there is no evidence before the City of Mission Viejo that the 105 dwelling units of the Proposed Project will have any potential for adverse effect, either individually or cumulatively, on wildlife resources or the habitat upon which the wildlife depends. Therefore, the Proposed Project is found to have a *de minimis* impact in its effect on fish and wildlife.
 - (k) That the data and analysis upon which these findings of fact are based, including those in this Resolution are set forth in the staff report and initial study for PDP2018-303, staff's oral presentation, public testimony, and Commissioner comments that constituted the Planning and Transportation Commission's review of this Application for the Proposed Project and the Related Applications.
2. That the City of Mission Viejo Planning and Transportation Commission hereby recommends that the City Council find as follows regarding Variance VAR2019-51 for deviations from the City's zoning regulations for building height, front building setback, distance between buildings, and tandem parking:
- (a) That there are special circumstances applicable to the Project Site, including size, shape, topography, location or surroundings, so that the strict application of the City Code deprives the Project Site of privileges enjoyed by other property(ies) in the vicinity and under identical zoning district classification. Specifically, the size the Project Site is such that, to achieve a project density of 15.6 dwelling units per acre, and enabling the provision of affordable housing units, the footprint of the housing product is smaller necessitating a third floor for both the single-family and townhome units, at a maximum height of 42' 6". The single-family units are located as little as 6 feet apart, again to achieve the desired project density.

- (b) That granting VAR2019-51 is necessary for the preservation and enjoyment of a substantial property right possessed by other property(ies) in the same vicinity and zoning district and denied to the Project Site for which the Variance is sought. As conditioned, the Proposed Project is providing 16 units as covenanted affordable housing available at an affordable housing cost to very low income and lower income households (9 very-low and 7 low-income units). Affordable housing costs impact project feasibility and allowing the Variance will assist the Applicant in planning a feasible project that would assist the City to provide affordable housing in the community, as encouraged by the City's Housing Element of the General Plan.
- (c) That granting VAR2019-51 will not be detrimental to the public health, safety, or welfare, or injurious to the property(ies) or improvements in the vicinity and zoning district in which the Project Site is located. While the front setback is technically reduced from a minimum of 30 feet down to 10 feet, the nearest residential structure is set back over 200 feet from the public right-of-way and will not create massing or view impacts from the right-of-way or surrounding properties, including residences in Palmia to the south. Furthermore, the Project Site has a surplus of parking in both the commercial area and the residential development, with the tandem parking permitted in the Plan 1 townhome private garages only. The recommended conditions of approval for the Proposed Project ensure that the development will not be detrimental to public health, safety or welfare or be injurious to property(ies) or improvements in the vicinity of the Project Site.
- (d) That granting VAR2019-51 does not constitute a special privilege inconsistent with the limitations upon other properties in the vicinity and zoning district in which the Project Site is located. As conditioned, the Proposed Project is providing 16 units of affordable housing available at an affordable housing cost to very low income and lower income households (9 very low and 7 low income units). Inclusion of affordable housing in the Proposed Project results in increased costs that impact project feasibility and thus allowing the Variance will facilitate the Applicant in planning a feasible development and assist the City in causing development of affordable housing in the community, as encouraged by the City's Housing Element of the General Plan.
- (e) That granting VAR2019-51 does not allow a use or activity that is not otherwise expressly authorized by the regulations governing the Project Site. The Proposed Project, with 105 dwelling units on the 6.73-acre Project Site, at a project density of 15.6 dwelling units per acre, is a permitted use within the RPD 30 (Residential Planned Development) zone, subject to approval of a Planned Development Permit (PDP2018-303).
- (f) That granting VAR2019-51 will not be inconsistent with the General Plan, including the Land Use Element, that anticipates a total City population of 97,745 at build-out. The City's population in 2018 (CA Department of Finance)

was 95,987. With an average of 2.85 persons per household in Mission Viejo, the 105-unit residential Proposed Project is anticipated to house approximately 300 new Mission Viejo residents, representing 0.31 percent of the current population in Mission Viejo. With the Proposed Project, the total City population would be 96,287, well below the 97,745-population anticipated in the General Plan Land Use Element (Table LU-3).

- (g) That relief from the City's Code standards is provided for in the City's General Plan Housing Element (Section 4.1.1.b - *Governmental Constraints, Land Use Plans and Regulations*) as an incentive to facilitate provision of affordable housing and to enhance affordable project feasibility. In accordance with the Housing Element, the proposed development standard modifications are eligible for consideration through the Planned Development Permit process, to "*permit nontraditional or unique site plan design if found appropriate by the Planning and Transportation Commission*".
 - (h) That the data and analysis upon which these findings of fact are based are set forth in staff report for VAR2019-51, staff presentations, public testimony, and Commission comments that constituted the Planning and Transportation Commissioners' review of the Applicant's Application for the Proposed Project.
3. That the City of Mission Viejo Planning and Transportation Commission hereby recommends that the City Council make the following findings for TTM18187, which proposes the subdivision of approximately 6.73 acres of real property for condominium purposes to accommodate construction of 105 for-sale dwelling units in the Proposed Project:
- (a) That the subdivision and its design of the subdivision and types of improvements proposed are consistent with the contemplated General Plan land use designation.
 - (b) That the design of the subdivision and types of improvements proposed are consistent with the City Code.
 - (c) That the design of the subdivision and types of improvements in the Proposed Project are suitable for residential development.
 - (d) That the Project Site is physically suitable for the proposed type of development and for the proposed density of the Proposed Project.
 - (e) That adequate utility services and capacities exist to service the proposed subdivision created by this subdivision of land for the Proposed Project.
 - (f) That the design of the subdivision and types of improvements proposed will not result in conditions or circumstances contrary to the public health, safety, and general welfare.

- (g) That the design of the subdivision and the types of improvements proposed for the Proposed Project will not conflict with easements of record or established by court judgment acquired by the public at large for access through or use of the property within the proposed subdivision; or, if such easements exist, that alternative easements for access or for use will be provided and that these will be substantially equivalent to ones previously acquired by the public.
- (h) That there is no evidence before the City of Mission Viejo that the proposed subdivision will have any potential for adverse effect, either individually or cumulatively, on fish wildlife resources or the habitat upon which the fish or wildlife depends.
- (i) That the City of Mission Viejo has made required findings pursuant to CEQA as set forth in Section 2 below.
- (j) That the Local Park Code requirements can be met by the allocation of park land, park improvements, and park fees.
- (k) That the data and analysis upon which these findings of fact are based, including those in this Resolution are set forth in the staff report and initial study for TTM18187, staff's oral presentation, public testimony, and Commissioners' comments that constitute the City Planning and Transportation Commission's review of this Application.

SECTION 2 - ENVIRONMENTAL REVIEW

Environmental issues related to the Proposed Project are discussed in the environmental review document entitled: "Initial Study/Mitigated Negative Declaration, Mission Foothills Residential Project" dated April 2019 ("IS/MND"). The Commission hereby finds and determines that the Proposed Project produces no greater impacts than those described in the IS/MND. The Commission further finds and determines that the mitigation measures set forth in the IS/MND are sufficient to mitigate all potentially significant impacts to less than significant levels. Therefore, the requirements of the California Environmental Quality Act (CEQA) have been met. After examining the IS/MND and taking public comment on the Proposed Project and IS/MND, the Commission, in its independent judgment, finds that potential significant adverse impacts can be mitigated to a level of insignificance with the mitigation measures identified in the IS/MND. Therefore, the Commission recommends that the City Council adopt the IS/MND for the Project in conjunction with such development. The mitigation measures are found in the Initial Study and in the conditions set forth below in Section 3 of this Resolution. The mitigation is structured to include appropriate monitoring as set forth in the mitigation monitoring and reporting program included in the IS/MND for this Proposed Project.

SECTION 3 – CONDITIONS OF APPROVAL

That the City of Mission Viejo Planning and Transportation Commission hereby recommends the City Council approve Planned Development Permit PDP2018-303, Variance VAR2019-51, and Tentative Tract Map TTM18187 for the Proposed Project at the Project Site, 28715 Los Alisos Boulevard, subject to the following conditions of approval:

1. That this approval constitutes approval of the Proposed Project only to the extent that the Proposed Project complies with the City Code. Approval does not include any action or findings as to compliance or approval of the Proposed Project regarding any other applicable ordinance, regulation or requirement.
2. That this approval is valid for a period of two years from the date of final determination. If the use approved by this action is not established within such period of time, then PDP2018-303, VAR2019-51, TTM18187 shall expire unless the Applicant submits a written request for an extension to the Director of Community Development prior to the expiration date; the extension request shall be subject to review and approval by the Planning and Transportation Commission.
3. That except as otherwise provided herein, this permit is approved as a precise plan. After any application has been approved, if changes are proposed regarding the location or alteration of any use or structure, a changed plan may be submitted to the Director of Community Development for approval. If the Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that the action would have been the same for the changed plan as for the approved plot plan, the Director may approve the changed plan without requiring a new public hearing.
4. That the proposed buildings of the Proposed Project shall be constructed and maintained in general conformance with the conceptual site plan, floor plan, elevations and landscape plan submitted by the Applicant except as otherwise modified by these conditions of approval. These plans are marked Exhibit “B”, for further identification. That the proposed changes to the exterior colors of the buildings be submitted to the review and approval of the Director of Community Development. Any change in color of the exterior of the buildings initially or at any time in the future shall be subject to review and approval by the Director of Community Development.
5. That the Applicant shall pay all applicable development fees.

HOA / CC&Rs

6. That prior to issuance to issuance of building permits, draft covenants, conditions and restrictions (CC&Rs) shall be submitted for review and approval by the Director of Community Development, the Director of Public Works, the Assistant City Manager/Director of Public Services, and the City Attorney. The CC&Rs shall include an association arrangement such that, even if there are separate Associations, maintenance responsibility for both the residential site and the adjacent commercial area, including landscape, refuse cleanup, and common area maintenance issues, is ultimately the responsibility of one party, to ensure a consistent and comprehensive maintenance approach, to the satisfaction of the City. The CC&Rs shall include a maintenance responsibility exhibit to clearly define the maintenance responsibilities of the commercial areas, the residential project, the project entryway from Los Alisos Boulevard, and the drive-aisle from Los Alisos Boulevard providing access to the Project Site, Housing Site A, and the vacant property adjacent to Los Alisos Boulevard. If separate Associations are established between the residential and commercial components of the project, the CC&Rs shall state clearly the step-in rights and obligations of the residential association, who will always have ultimate responsibility as described in this condition.
7. That prior to certificates of occupancy the approved CC&Rs document shall be recorded on title, including the project common area, each of the 105 dwelling units, and the adjacent commercial properties.
8. That the Applicant shall incorporate a semi-annual garage inspection in the community's CC&Rs for the private garages, including tandem parking garages. Although some storage is permitted in the private garages, two (2) vehicles shall be able to park within the garages at all times. CC&Rs for the residential component shall include alternative residential parking sticker program for surplus uncovered spaces, fee schedule for fines for garage inspection compliance and guest parking compliance, and tow away provisions, etc., to the satisfaction of the Director of Public Works and Director of Community Development.
9. That arrangements shall be made to advise prospective buyers of existing and pending land uses in the area, including the subject property's close location to the Foothill Transportation Corridor SR 241 and Upper Oso Reservoir. The form and contents of such consumer protection data shall be to the satisfaction of the Director of Community Development and incorporated into the project's CC&Rs.
10. That the CC&Rs shall include provisions for the required Very Low Income and Low Income Affordable Units (as further described and defined in Conditions 104-106 herein), including express reference to the affordable housing agreement and related implementing instruments as detailed in Condition Nos. 104 to 106 of this Resolution, and all as determined appropriate by the Director of Community Development and the City Attorney.

11. That the conditions, covenants, and restrictions for the Proposed Project shall prohibit residential car washing.

Parks / Recreation

12. That the Applicant shall comply with all provisions of the Local Park Code (Chapter 9.85 of the Mission Viejo Municipal Code). The Proposed Project assumes a maximum total development intensity of 105 units on the 6.73-acre Project Site, including 16 Affordable Units (9 Very Low and 7 Low Income) and 89 market-rate units; this equates to 0.89 gross acres of park land for the market rate units, with park land requirements waived for the 16 affordable housing units (9 very low and 7 low income). With 0.2 acres anticipated for on-site amenity credit (areas of credit to be confirmed during building permit plan check), the resulting park land obligation for the project is 0.69 acres. Based on a current land valuation of \$2 million per acre, the resulting park in lieu fee is \$1.38 million. Final land valuation is subject City and Applicant negotiation in accordance with the City's Local Park Code.

Public Works

GENERAL REQUIREMENTS

13. That prior to recordation of a final map, Applicant shall construct or enter into an agreement and post security guaranteeing the construction of the following public and/or private improvements in conformance with the Code and other applicable City standards:
 - a. Street improvements including, but not limited to: pavement, curb and gutter, medians, sidewalks, drive approaches, signing, and striping.
 - b. Storm drain facilities.
 - c. Sub-drain facilities.
 - d. Landscaping and irrigation (medians, slopes, parks, model sites, and public areas including parkways, entries, and quads).
 - e. Sewer and domestic water systems.
 - f. Monumentation.
 - g. Traffic signal systems, pre-emption devices and other traffic control devices.
 - h. All trails and recreational facilities, as required by the City, if any.
14. That after the final map has been recorded by the County of Orange Clerk/Recorder's Office, the Applicant shall provide the City with a duplicate mylar and scanned TIFF files of all maps.

15. That prior to the issuance of a grading permit, the Applicant shall complete a lot line adjustment with the adjoining property owner, as contemplated in the Project Site boundaries shown on the approved plans, and upon which the approved site plan for the Proposed Project is based, and such that the recreation and pool area is entirely on and within the Applicant's property.
16. That the Applicant is advised that there are map check fees, and a deposit must be posted prior to commencement of map check. Map check fees will be based on time and materials, to be invoiced at the completion of the map check process. All fees must be paid in full before the map will be sent to City Council for consideration and action.
17. That prior to the issuance of a building permit for the Proposed Project, the Applicant shall obtain easements for ingress and egress from the adjoining property owners for the main entry into the Project Site and provide a copy of the easements(s) and proof of recordation(s) with the Official Records of the County of Orange, if such easement(s) do not already exist, to the satisfaction of the City Engineer.
18. That prior to release of any subdivision, grading, or landscape bonds, the Proposed Project must be completed to the satisfaction of the City Engineer. This includes completion of all punch list items, approved mylar as-builts, underground inspections, required paperwork (such as soils reports, certifications, etc.). All associated permits will be considered active, until all items (including paperwork) have been completed to the satisfaction of the City Engineer. All permits must be current (not expired) at time of bond release. The Applicant is advised that there may be permit renewal fees if said permits have expired prior to completion of all above listed items.
19. That all required geotechnical testing services required for improvements in the public right-of-way will be based on time and materials, to be invoiced at the completion of the Proposed Project. These fees will be in addition to all applicable encroachment, grading, subdivision, etc. inspection fees. These fees must be paid in full prior to release of any bonds.
20. That all grading (rough and precise) plans shall be prepared on City standard size sheets by a licensed civil engineer and shall be submitted to the City Engineer for approval. All landscaping plans shall be prepared on City standard size sheets by a licensed landscape architect and shall be submitted to the City Engineer for approval. All plans must be in substantial conformance with the approved site/concept plans. Plan check and inspection fees shall be paid by the Applicant in accordance with the City's fee schedule.
21. That all grading (rough and precise) and landscaping plans associated with this development shall be as-built upon completion of the Proposed Project. Once the as-built drawings are approved, the Applicant shall provide the City with a duplicate mylar of the plans and scanned TIFF files of all plans.

22. That all on-site improvements (parking lots, sidewalks, ramps, grading) shall be bonded for with the precise grading plan.
23. That an encroachment permit will be required for any work within the public right-of-way.
24. That a demolition grading permit shall be obtained from the Public Works Department in addition to any permits required from the Building Department prior to demolition of any existing structures or paving. Said plan shall incorporate an erosion control plan.
25. That a haul route permit shall be obtained from the Public Works Department for removal or import of any material that requires more than 20 truck trips per day or if the total yardage of material to be exported or imported to the Project Site exceeds 100 cubic yards.
26. That perimeter fencing shall be installed that has green screen material or approved equal. The fence/screen material shall be properly maintained and be free of rips, tears, fraying, graffiti, and any other damage or vandalism.
27. That prior to the issuance of a precise grading permit, the Applicant shall prepare a plan for the placement and installation of traffic signing, pavement delineation, and other traffic devices subject to the review of the City Engineer. Parking stalls shall be double hair pin striped, and stop signs along with stop legend bar shall be provided at all locations as specified by the City Engineer.
28. That prior to Certificate of Occupancy, the Applicant is required to sign and notarize a maintenance agreement and cause recording against the Subject Site in the Official Records, which agreement, among other provisions, requires annual site inspection of the Proposed Project and Project Site. The form template is located on the Public Works page of the City of Mission Viejo official web site: https://cityofmissionviejo.org/file/10316/download?token=Xqx_pYd8.

GRADING REQUIREMENTS

29. That grading of the Project Site shall be in accordance with the City Code, in particular the Mission Viejo Grading Code and Manual, and to the satisfaction of the City Engineer. Any grading required outside of the boundaries of the Project Site will require either slope easements or right-of-entry letters from the adjacent property owners.
30. That prior to the issuance of a rough or precise grading permit, the following improvements shall be designed in a manner meeting the approval of the City Engineer:
 - a. All provisions for surface drainage.

- b. All necessary storm-drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff.
31. The Applicant and its Contractor and subcontractors shall comply with all requirements of the Orange County Stormwater Program “Construction Runoff Guidance Manual” during the construction of the Proposed Project. The requirements contained in this document shall be incorporated into the grading plans. This document is available for download on the City Website at www.cityofmissionviejo.org.
32. That the City Grading and Excavation Code requires 2:1 slopes unless the slopes are engineered/reinforced slopes. All engineered/reinforced slopes require detailed plans for review and approval by the City Engineer.

PRIVATE / PUBLIC IMPROVEMENT CONSTRUCTION REQUIREMENTS

33. That all structural pavement sections for on-site and off-site streets, including all parking lots, shall be submitted to and approved by the City Engineer. The soils engineer shall submit pavement section recommendations based on "R" Value analysis of the subgrade soils, and approved City traffic indices.
34. That handicap access ramps for new construction (residential project and new commercial parking lot) must be installed and/or retrofitted in accordance with current American Disabilities Act (ADA) standards throughout the project. Access ramps shall be provided at all intersections and driveways.
35. That all concrete placed (i.e. sidewalk) that comes in contact with native soils shall contain Type V cement.
36. That all parking stalls shall be constructed using City Standard Plan No. 507, which requires hairpin striping and construction of 12-inch-wide PCC strips adjacent to end parking stalls (total of 18 inches wide including the curb width). Alternative striping colors may be proposed, subject to review and approval by the City Engineer.

DRAINAGE REQUIREMENTS

37. All of the storm water falling on the Project Site must be captured, retained, and treated on-site according to the Priority Development Project requirements for New Development as specified in San Diego Regional Water Quality Control Board Order No. R9-2013-0001 as amended by Order No. R9-2015-0100.

As a result, the Applicant shall design a storm water capture system designed to comply with the Priority Development Project requirements. As a courtesy, a summary of the storm water pollutant control best management practice (BMP) requirements and the hydromodification management best management practice requirements for new developments is provided below:

Storm Water Pollutant Control BMP Requirements:

Construction of LID BMPs that are designed to retain (i.e. intercept, store, infiltrate, evaporate, and evapotranspire) onsite the pollutants contained in the volume of storm water runoff produced from a 24-hour 85th percentile storm event (design capture volume); OR

Construction of Biofiltration BMPs designed to have an appropriate hydraulic loading rate to maximize storm water retention and pollutant removal, as well as to prevent erosion, scour, and channeling within the BMP, and must be sized to:

[a] Treat 1.5 times the design capture volume not reliably retained onsite, OR

[b] Treat the design capture volume not reliably retained onsite with a flow-thru design that has a total volume, including pore spaces and pre-filter detention volume, sized to hold at least 0.75 times the portion of the design capture volume not reliably retained onsite.

Hydromodification Management BMP Requirements:

Post-project runoff conditions (flow rates and durations) must not exceed pre-development runoff conditions by more than 10 percent for the range of flows that result in increased potential for erosion, or degraded instream habitat downstream of the project. The City's Hydromodification Management Plan (HMP) in effect at the time these conditions of approval were written requires BMPs to be designed such that the post-project runoff flow rates and durations:

- (1) Do not exceed pre-project (naturally-occurring) runoff flow rates and durations by more than 10 percent for the range of runoff flows identified in the City's Water Quality Management Plan,
- (2) Do not result in downstream degradation of channel conditions identified in the City's Water Quality Management Plan, and
- (3) Compensate for the loss of sediment supply due to development.

TYPICALLY THIS CONDITION REQUIRES THE CONSTRUCTION OF MANY LARGE UNDERGROUND STORM WATER STORAGE UNIT(S) WHICH MAY CAUSE A SIGNIFICANT IMPACT ON THE DESIGN OF THE PROPOSED PROJECT AND ON ANY PROPOSED UNDERGROUND UTILITIES. Accordingly, it is advised to consult with a California registered civil engineer located in Southern California who has direct experience implementing this unique requirement in order to fully understand the scope of work expected to comply with this requirement.

In the event of a conflict between the above summary and San Diego Regional Water Quality Control Board Order No. R9-2013-0001 as amended by Order No. R9-2015-0100, the text in the Order shall prevail.

38. That prior to the issuance of a rough or precise grading permit, a hydrology and hydraulic study (including off-site areas affecting the development) shall be prepared by a qualified civil engineer and approved by the City Engineer. The report shall include detailed drainage studies indicating how the grading, in conjunction with the drainage conveyance systems including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding, will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.
39. That prior to the issuance of a rough or precise grading permit or the approval of improvement plans, a recorded drainage acceptance letter for any concentration or increase of drainage runoff to adjacent properties shall be required.
40. That any storm drains shall be inspected by the County of Orange Underground Inspection Team (The City will arrange for the inspection). There will be additional fees for this inspection.
41. That prior to a final certificate of occupancy for the last residential unit, the City's "No Dumping - Drains to Ocean" curb markers will be glued on top of the curbs directly above any inlets or an approved stencil shall be used to paint this message on inlets.
42. That all storm drain systems shall be designed and constructed in accordance with all City of Mission Viejo Standard Plans and Special Provisions and the County of Orange Local Drainage Manual.
43. That water runoff from the Project Site (including sheet flow) may be required to be filtered with a water quality device, to be approved by the City, prior to the discharge of the water to the street/storm drain system. This may require the installation of trench drains the entire width of the entrances to collect and treat sheet flow leaving the Project Site.
44. That prior to the issuance of a rough or precise grading permit for any property wholly or partially located within the 100-year Flood Hazard Area on the Flood Insurance Rate Map, the Applicant shall furnish to the City Engineer documentation required by the Federal Emergency Management Agency (FEMA) for revision to the Flood Insurance Rate Map and pay all preliminary and subsequent fees as required by FEMA.

45. That a written report analyzing the hydraulic downstream impacts of additional flows from the Project Site on downstream storm drain pipelines chosen by the City Engineer must be prepared for review and approval by the City Engineer, unless waived by the City Engineer during the grading plan check process.

ENVIRONMENTAL PROGRAM REQUIREMENTS

46. That the Applicant/owner shall be responsible for obtaining all required permits from the California Regional Water Quality Control Board. If a permit is required, the Applicant will be required to prepare a Storm Water Pollution Prevention Plan. Evidence that proper clearances have been obtained from the California Regional Water Quality Control Board shall be given to the City prior to issuance of any grading permits.
47. That all projects require the preparation of erosion control plans in conformance with the City Code, including the Mission Viejo Grading and Excavation Code. All erosion control plans shall incorporate Best Management Practices to the maximum extent possible. In addition, Erosion Control shall be implemented during construction year-round.
48. The Applicant and all successors in interest (property owner(s)) will be responsible for the costs of the construction and maintenance in perpetuity of any structural controls (also known as best management practices) to comply with the City's Water Quality Code, San Diego Regional Water Quality Control Board Order No. R9-2013-0001 as amended by Order No. R9-2015-0100, and California Regional Water Quality Control Board permits. Treatment control devices will not be permitted in the public right-of-way.
49. That irrigation runoff is effectively prohibited from all landscaped areas on this project per San Diego Regional Water Quality Control Board Order No. R9-2013-0001 as amended by Order No. R9-2015-0100; therefore, the Applicant shall design the Proposed Project on the Project Site using a combination of low flow drainage diversion structures designed to re-route all landscape irrigation runoff from reaching the City's municipal separate storm sewer system. Acceptable low flow drainage diversion structures include dry wells and landscaped-ponding areas subject to approval by the Orange County Vector Control District.
50. That prior to the issuance of a grading permit, the Applicant shall prepare a trash staging plan showing how the City's franchise waste hauler's trash and recycling carts can be stored out of public view at all times except for trash service day(s). The trash staging plan shall include three carts for single-family residential homes and three carts for townhomes for trash, recycling of conventional recyclable materials, and recycling of organic green and food waste.

51. That prior to the issuance of any certificate of occupancy permit, the Applicant/owner shall furnish a recorded copy of the Water Quality Best Management Practice Implementation Agreement (“Agreement”) with the County of Orange. The Agreement is posted on the City’s website. The terms and conditions of the Agreement shall not be revised by the Applicant/owner, and must be adopted in its entirety upon recordation.
52. That prior to issuance of any precise grading permit, the Applicant shall have an approved Water Quality Management Plan (WQMP). The WQMP shall be prepared in conformance with the City’s WQMP Instructions and Template, available for download in Microsoft Word format on the City’s web site under the City’s Stormwater/NPDES Section. The City’s Website is www.cityofmissionviejo.org. The Applicant will be responsible to ensure that the project complies with the requirements of the latest edition of the City’s National Pollutant Discharge Elimination System (NPDES) Permit issued by the San Diego Regional Water Quality Control Board. Copies of the Permit may be downloaded from the Water Board’s website at www.waterboards.ca.gov/sandiego. This order and the City’s NPDES Local Implementation Plan (LIP) require the City to classify this project as a priority project. The Applicant will be responsible for complying with the SUSMP requirements of this permit, which requires the project to incorporate source control BMPs and structural treatment BMPs. The Applicant is advised that there are additional fees for the review of this document.
53. That water runoff from the Project Site (including sheet flow) may be required to be filtered with a water quality device, to be approved by the City, prior to the discharge of the water to the street/storm drain system.
54. That prior to a certificate of occupancy for the last residential unit, trash capture devices on the State Water Resources Control Board’s “Certified Full Capture Systems List of Trash Treatment Control Devices,” latest edition, shall be installed and operational on all storm drain inlets and be maintained in perpetuity by the property owner(s). The property owner(s) shall repair or replace any devices within 30 calendar days of the device(s) being non-operational or damaged.
55. That all roof drain shall be routed to a landscaped area or an on-site structural treatment BMP prior to draining into the City storm drain system.

UTILITIES, WATER, AND SEWER REQUIREMENTS

56. That the Proposed Project’s common area landscaping shall be irrigated with reclaimed water. As such, the Applicant shall coordinate with the water district and pay for the installation of a reclaimed irrigation system.

57. That water and sewer improvement plans shall be approved by the appropriate water district and the City Engineer. All water and sewer facilities shall be constructed in accordance with the appropriate agency's specifications, with all incidental fees paid by the Applicant. These facilities shall be dedicated to the appropriate water district by the Applicant to the satisfaction of the City Engineer.
58. That on-site water and sewer facilities that will not be maintained by the Water District shall be plan checked and inspected by the City of Mission Viejo Building Department. All fees shall be paid in accordance with the City's fee schedule.
59. That any above ground valve assemblies or back-flow devices shall be placed on private property and an easement dedicated to the appropriate water district.
60. That all joint trench installations shall be installed under an encroachment permit obtained by the Applicant.
61. That any damage, either structural or aesthetic, to any public and/or private streets as a result of utility connections to service this development shall be repaired upon completion of the project by the Applicant to the satisfaction of the City Engineer. The improvements will not be accepted by the City until the necessary repairs are completed.
62. That any above ground utility cabinets shall be placed on private property and an easement dedicated to the appropriate utility company (if required).
63. That no above ground utility structures, cabinets, pipes, or valves shall be constructed within the public right-of-way.

LANDSCAPE REQUIREMENTS

64. That prior to the issuance of a grading permit, the Applicant shall submit preliminary landscape plans to the Director of Community Development and the Assistant City Manager/Director of Public Services for subsequent review, comment, revision and/or correction at the discretion of the Director of Community Development and/or Assistant City Manager/Director of Public Services. These plans shall be subject to review and approval by the Director of Community Development, Director of Public Works, and the Assistant City Manager/Director of Public Services.
65. That the maintenance of any landscaping between the curb and the right-of-way line of any street abutting the parcel shall be the responsibility of the owner of the adjoining parcel, unless a recognized association or district has assumed responsibility for said maintenance.

66. That prior to the issuance of a certificate of occupancy permit, the property owner(s) shall furnish a recorded copy of a Landscape Maintenance Agreement subject to the approval of the Assistant City Manager/Director of Public Services outlining post-construction landscape maintenance requirements that will be required to be implemented by the owner, and all subsequent owners.
67. That all proposed landscape improvements shall be bonded for.
68. That all existing landscaping shall be upgraded or replaced to meet current City of Mission Viejo Standards for Landscape Improvements.
69. That all landscape plans shall be submitted to the City for first plan check prior to issuance of a grading permit. The City reserves the right to require subsequent checks, or approval of the landscape plans prior to issuance of a grading permit.
70. That all landscape plans shall reflect all improvements shown on the final approved grading plans and building plans including, but not limited to, improvements such as ramps, walkways, driveways, planter areas, fire access lanes, ingress and egress to buildings, and appurtenances constructed to support the use of any improvements such as gates, handrails, fences, or walls.
71. That the Applicant must comply with the City's updated Model Water Efficient Landscape Ordinance.
72. That the City of Mission Viejo has conceptually approved the planting plans and reserves the right to request additional plant material and adjust spacing prior to approval of the final landscape construction plans.

TRAFFIC / PARKING / ACCESS

73. That prior to the issuance of any grading permit, the Applicant shall provide documentation from the Orange County Fire Authority (OCFA) approving the proposed site plan including: location of the emergency vehicle access (E.V.A.); dead-end drive aisles; adequate access around the perimeter of the buildings.
74. That prior to the issuance of a precise grading permit, the Applicant shall provide final design plans of all traffic signing and striping for the Proposed Project on the Project Site (i.e. way-finding signs, pedestrian crossings signage, stop signs, stop bars, stop legends, directional pavement arrows, speed limit signs, no parking signs, red curbs, etc.). Final design plans for signing and striping shall be submitted on a separate plan sheet and shall provide detailed dimensions. All signing and striping plans shall comply with the most current CA Manual of Uniform Traffic Control Devices (MUTCD). There shall be no on-street parking permitted along the designated fire lanes and raised curbs paralleling the fire lanes shall be painted red, or adequate "no parking" signage shall be installed, as approved by the Orange County Fire Authority (OCFA). Guidance / way-finding signs for home addresses shall be provided, if and as required by OCFA.

75. That the Applicant shall maintain compliance with the City's double-hairpin parking stall design criteria (Standard Plan 507 shall be shown on the plans). At a minimum, the parking stall widths shall be constructed as 9' by 18' dimensions. All accessible parking stalls shall be designed per the current ADA standards. The current standards require accessible parking stalls to have pavement markings with "NO PARKING" in the hatched chevron area adjacent to the accessible parking stalls and a placard sign indicating "MINIMUM \$250 FINE" in front of the accessible parking stall.
76. That prior to the issuance of a certificate of occupancy permit, the Applicant is solely responsible for procuring and constructing all traffic signal improvements at the intersection of Los Alisos Boulevard and Mission Foothill Marketplace as determined by the Director of Public Works. These traffic signal improvements shall include the following items - necessary upgrades for the procurement and installation of a battery back-up system (BBS) including an external battery cabinet and six (6) Polara audible pedestrian push buttons with a central control unit system.
77. The Applicant is not permitted to construct a gate at the main project driveway entrance of the development. If a gate is to be constructed in the future, the most current gate standards per the City of Mission Standards Plans should be fully satisfied and approved to the satisfaction of the Director of Public Works. A current gate stacking analysis and adequate turn-around area shall be included in the application if a new gate is to be constructed.
78. That prior to the issuance of a precise grading permit, the Applicant shall provide construction plans indicating "NO OVERNIGHT PARKING (TOW AWAY)" signs at each entrance of the commercial retail parking lot. A minimum of two (2) signs shall be constructed for enforceability.

TENTATIVE TRACT MAP

79. That except as otherwise provided herein, the final tract map shall conform substantially with TTM18187 submitted with the plans for the Proposed Project by the Applicant and marked Exhibit "C" and dated May 13, 2019, for identification. After any application has been approved, if changes are proposed, a changed plan may be submitted to the Community Development Director for approval. If the Director determines that the proposed change complies with the provisions and the spirit and intent of the approval action, and that action would have been the same for the changed plan as for the approved plot plan, he may approve the changed plan without requiring a new public hearing.
80. That any phasing of the final tract map shall be subject to review and approval by the Director of Community Development and Orange County Fire Authority.

81. That the maximum number of residential lots allowed under Tentative Tract Map TTM18187 is one. Planning and Transportation Commission approval is required for additional residential lots; additional conditions may be imposed.
82. That prior to recordation of any final map, CC&Rs shall be designed for the entire tract outlining specific responsibilities including architectural guidelines, administration, drainage, utilities, landscape maintenance, exterior building color, and enforcement provisions. Access easements between parcels shall be provided in the CC&Rs. All CC&Rs for the entire tract shall be subject to the joint review and approval by the Director of Community Development, Director of Public Works, Assistant City Manager/Director of Public Services, and City Attorney. Those aspects that are zoning in nature shall be structured so they cannot be rescinded or modified without City concurrence. The City shall have discretion to enforce provisions, which are zoning in nature. The Applicant/subdivider shall be required to pay for the review of the CC&Rs by the City Attorney and City staff, at the City's hourly billing rate. The CC&Rs shall be approved prior to the City Council's acceptance of the final tract map and shall be recorded immediately following the recordation of the final tract map.
83. That the Applicant/subdivider shall be responsible for all applicable fees, including as required by Fish and Game.
84. That all interior streets and courts of the Project Site shall be private and shall be maintained by the homeowner's association.

Mitigated Negative Declaration Mitigation Measures

85. (IS/MND Mitigation GEO-1) Preparation of and Compliance with the Recommendations in the Final Geotechnical Report. Prior to issuance of grading permits, the Applicant shall submit a Final Geotechnical Investigation prepared for the Project Site to the Director of the Mission Viejo Community Development Department, or designee, for review and approval. All grading operations and construction shall be conducted in conformance with the recommendations included in the Final Geotechnical Report. Grading plan review shall be conducted by the Director of the Mission Viejo Community Development Department, or designee, prior to the start of grading to verify that requirements specified in the Final Geotechnical Report have been appropriately incorporated into final project design. Design, grading, and construction shall be performed in accordance with the requirements of the City of Mission Viejo Building Code and the California Building Code (CBC) applicable at the time of grading, appropriate local grading regulations, and the recommendations of the geotechnical consultant as summarized in the Final Geotechnical Investigation for the Proposed Project on the Project Site.
86. (IS/MND Mitigation GEO-2) Preparation of Paleontological Resource Impact Mitigation Program. If excavation depths extend below the anticipated 10 feet, or if paleontologically sensitive native sediments are encountered during excavation, a paleontologist would be retained to develop a Paleontological Resource Impact

Mitigation Program (PRIMP) for the Proposed Project on the Project Site. Recommendations of a PRIMP may include the following actions: paleontological monitoring; collection of observed resources; preservation, stabilization, and identification of collected resources; curation of resources into a museum repository; and preparation of a monitoring report of findings. Should undiscovered paleontological resources be found during project construction, the project would comply with recommendations outlined in the PRIMP.

(IS/MND Mitigation NOI-1) Construction Noise. Prior to issuance of demolition permits, the General Manager of the City of Mission Viejo (City) Department of Building and Safety, or designee, shall verify that all construction plans include notes stipulating the following (Also see Condition 99):

- Prohibit all noise-producing construction activities between the hours of 8:00 p.m. and 7:00 a.m. on weekdays and Saturdays. Construction shall not be allowed at any time on Sundays or federal holidays.
- Grading and construction contractors shall use equipment that generates lower vibration levels, such as rubber-tired equipment rather than metal-tracked equipment when feasible.
- Construction haul truck and materials delivery traffic shall avoid residential areas whenever feasible. The construction contractor shall place noise- and vibration-generating construction equipment and locate construction staging areas away from sensitive uses whenever feasible.
- The construction contractor shall use on-site electrical sources to power equipment rather than diesel generators where feasible.
- All residential units within 500 feet (ft) of the construction site shall be sent a notice regarding the construction schedule. A sign legible at a distance of 50 ft shall also be posted at the construction site. All notices and the signs shall indicate the dates and durations of construction activities, as well as provide a telephone number for the “noise disturbance coordinator.”
- A “noise disturbance coordinator” shall be established. The disturbance coordinator shall be responsible for responding to any local complaints about construction noise. The disturbance coordinator shall determine the cause of the noise complaint (e.g., starting too early, bad muffler) and shall be required to implement reasonable measures to reduce noise levels.

87. (IS/MND Mitigation NOI-2) Final Acoustical Report. Prior to the issuance of any certificates of occupancy for the Proposed Project on the Project Site, the Applicant/Developer shall submit a Final Acoustical Report, prepared by a qualified acoustical consultant, to the City. The Mission Viejo Department of Building and Safety, or designee, shall verify that the Final Acoustical Report demonstrates that all

units with exterior façades, including all bedrooms and living rooms, comply with the City's interior noise standard (45 dBA Community Noise Equivalent Level [CNEL]). Noise reduction techniques that may be incorporated into construction plans to reduce interior noise levels include, but are not limited to: incorporation of upgraded windows and doors, improved wall construction, or reduced window and door sizes.

88. (IS/MND Mitigation NOI-3) Ventilation Requirements. Prior to the issuance of building permits, documentation shall be provided to the Mission Viejo Department of Building and Safety, or designee, demonstrating that the buildings in the Proposed Project on the Project Site meet ventilation standards required by the California Building Code with windows closed. Mechanical ventilation, such as an air-conditioning system, shall be required as part of the Proposed Project design for all on-site buildings/units.

General Conditions

89. That the Proposed Project shall require a building permit from the City's Building Division. The Proposed Project shall be subject to conformance with the City Code and all applicable codes and ordinances and Title 24 requirements in effect at the time of submittal. A California registered civil or structural engineer or architect shall prepare the construction drawings.
90. That the applicable provisions of the California Building Code, Fire Code, and all other applicable City codes, ordinances, and development standards in effect at the time of this approval shall be complied with. Furthermore, all the conditions of approval stated in this resolution and shall be included in each set of building permit construction plans submitted for City approval.
91. Prior to issuance of building permits, the applicant shall prove OCFA approval of construction documents.
92. That the Applicant shall be responsible to coordinate with adjacent property owner(s), as necessary, to develop a plan that visually brings the shopping center, Mission Foothills residential development (the subject property) and City Lane residential development (Housing Site A) together in a cohesive and complimentary visual manner, with the "residential" entry statement beginning along Los Alisos Boulevard. The plan can use the existing street curbs, and sidewalks as the entry configuration and focus the rehabilitation on enhanced and increased planting, new signs and entry walls monuments. The entry design currently shown on the plans will not work with existing field conditions. The working drawings submitted for construction permits must include a unifying visual entry to be reviewed and approved by the Director of Public Services and the Director of Community Development.
93. That all exterior walls and fences shall be decorative in nature; wall and fence design, color, material, height, and specific location shall be subject to review and approval by the Director of Community Development. The location of all walls including

retaining walls shall be subject to review and approval of the Director of Community Development; they shall be substantially screened through the use of landscape material where possible to the satisfaction of the Director of Community Development.

94. That if after 6 months from completion of the commercial area improvements (revised parking lot, landscaping, pedestrian paths, etc.) parking issues develop with UDR tenants parking in the commercial parking lot or the guest spaces in the residential development, as determined by the Director of Community Development or Director of Public Works, the Applicant shall explore the viability of limiting access, closing, or even removing the existing pedestrian bridge that connects the Project Site with the Los Alisos Apartments (UDR) site to the west, to the satisfaction of the Director of Community Development or Director of Public Works, as well as OCFA and OCSD.
95. That prior to issuance of a building permit for a temporary model home complex associated with the first-time sale of homes and townhomes, the Applicant shall obtain a Temporary Use Permit subject to review and approval by the Director of Community Development.
96. That all lighting, exterior and interior, shall be designed and located to minimize power consumption and to confine direct rays to the premises. All parking lot lights shall be a maximum height of 25 feet. There shall be a minimum of two foot-candles of lighting in all outdoor parking areas. The Director of Community Development may grant variations from these standards depending upon the circumstance. Location of lights in parking and walkway areas, fixture design, height, lighting intensity, and shielding details for all outside lighting shall be subject to review and approval of the Director of Community Development prior to the issuance of a building permit.
97. That prior to the issuance of a certificate of occupancy permit, a report certified by a lighting engineer shall be submitted to the Director of Community Development demonstrating that lighting standards for security and parking are designed to confine rays to the Project Site and that the lighting meets the minimum foot candle requirement.
98. That unenclosed construction operations shall not commence prior to 7:00 a.m. Monday through Friday and shall not commence prior to 8:00 a.m. on Saturday. Such operations shall cease before 8:00 p.m. Monday through Friday and before 6:00 p.m. on Saturday. There shall be no construction activities on Sunday or a Federal holiday celebrated by the City of Mission Viejo. In addition, all construction vehicles or equipment fixed or mobile operated shall be equipped with properly operating and maintained mufflers.
99. That prior the issuance of a building permit, the Applicant shall provide evidence acceptable to the City Engineer that:

- a. All construction vehicles or equipment, fixed or mobile, operated within 1,000 feet of a dwelling shall be equipped with properly operating and maintained mufflers;
 - b. All operations shall comply with City of Mission Viejo Ordinance No. 89-37 (noise control); and
 - c. Stockpiling and /or vehicle staging areas shall be located as far as practical from sensitive noise receptors, i.e., residential areas.
100. That during construction activities, the Applicant shall ensure that the Proposed Project on the Project Site will comply with SCAQMD Rule 402 (Nuisance), to reduce odors from construction activities.
101. That during construction activities, the Applicant shall ensure that the following measures are complied with to reduce short-term (construction) air quality impacts associated with the Proposed Project on the Project Site: (a) controlling fugitive dust by regular watering, or other dust palliative measures to meet South Coast Air Quality Management District (SCAQMD) Rule 403 (Fugitive Dust); and, (b) maintaining equipment engines in proper tune; and c) phasing and scheduling construction activities to minimize project-related emissions.
102. That the City requests that the Applicant voluntarily participate in its public art program. The Applicant can either place a piece of public art on the Applicant's property within view of the public right of way or provide an in-lieu fee. The entire cost of construction of the public art on site will not to exceed \$10,000.
103. That no permit shall be issued until the property owner and Applicant submit a written statement to the City indicating that he/she has read, understands, and accepts the benefits conferred by this approval subject to the conditions imposed therein.

Affordable Housing Conditions

104. That prior to the *earlier* to occur of: (i) recordation of the of final map, or (ii) issuance of the first permit by the City (including e.g., first grading permit) for the Proposed Project, the Applicant/Developer shall prepare the form of an Affordable Housing Agreement to implement the inclusion of sixteen (16) affordable housing units for sale at an Affordable Housing Cost to qualified Very Low Income and Low Income homebuyers ("Affordable Units"). Nine (9) of the 16 Affordable Units shall be covenanted for acquisition and owner-occupancy by qualified Very Low Income households and seven (7) of the 16 Affordable Units shall be covenanted for acquisition and owner-occupancy by qualified Low Income households, with the purchase price for such Affordable Units to be at an Affordable Housing Cost.
- a. The terms "Very Low Income Household" or "Very Low Income" mean a household earning not greater than that percentage of Orange County area median

income (“AMI”) (generally 50%), adjusted for household size, which is set forth by regulation of the California Department of Housing and Community Development (“HCD”), pursuant to California Health & Safety Code (“HSC”) Section 50105. The terms “Low Income Household” and “Low Income” mean a household earning not greater than that percentage of AMI (generally 80%), adjusted for household size, as set forth in HCD implementing regulations of Title 25, Code of Regulations (“Regs”) pursuant to HSC Section 50079.5. Further, Low Income shall include Very Low Income Households and extremely low income households as defined in HSC Section 50106. The term Affordable Housing Cost shall mean the purchase price of an Affordable Unit by each qualified Low and Very Low Income homebuyer as calculated and in conformance with HSC Section 50052.5 and Regs Title 25 Sections 6920, 6924, 6926, and 6928 for Low and Very Low Income Households, except the maximum cost amount shall be 30% of the Low Income Household’s actual gross annual income that results in a monthly housing cost for an applicable Affordable Unit that does not exceed: (a) for Low Income Households, the product of 30% times 70% of AMI adjusted for household size appropriate to the Affordable Unit. If the Low Income Household has an income greater than 70% AMI, Affordable Housing Cost means a monthly housing cost that does not exceed the greater of (i) 30% times 70% AMI adjusted for household size appropriate to the Affordable Unit, or (ii) 30% times the applicable homebuyer’s actual monthly gross income; and (b) for Very Low Income Households, the product of 30% times 50% AMI adjusted for household size appropriate to the Affordable Unit. Household size appropriate for an Affordable Unit is defined in HSC Section 50052.5.

- b. Further, Applicant/Developer shall prepare and present for review the CC&Rs described in the above conditions. Both the Affordable Housing Agreement and CC&Rs, shall conform to California state law and regulations to ensure the initial sale, ownership, occupancy, and resales of the Affordable Units are restricted during a 30-year “Affordability Period” and are binding upon the original and each successive homebuyer of an Affordable Unit during such 30-year term. The form of the Affordable Housing Agreement and CC&Rs shall, prior to recordation of the final subdivision map or permit issuance, as applicable, be submitted to the Director of Community Development for review and approval by the Director of Community Development and the City Attorney in their sole discretion. These instruments shall set forth the terms of the Affordable Units in the Proposed Project on the Project Site. The Affordable Housing Agreement and CC&Rs shall be binding on the Developer and all future owners and successors of each of the 16 Affordable Units.

105. The Applicant/Developer, by accepting these conditions of approval, agrees that the Affordable Housing Agreement and CC&Rs shall include, but not be limited to, the following terms and conditions:
- a. At least 16 of the total 105 units (i.e. 15% of total units) shall be owner-occupied Affordable Units sold at an Affordable Housing Cost to qualified Low and Very Low Income homebuyers, with resale of each Affordable Unit to qualified Low and Very Low Income homebuyers, as applicable. Nine (9) of the 16 Affordable Units shall be covenanted for acquisition and owner-occupancy by Very Low Income homebuyers; and seven (7) of the 16 Affordable Units shall be covenanted for acquisition and owner-occupancy by Low Income homebuyers, with all restricted during the 30-year Affordability Period.
 - b. That the Affordable Units shall be of the same quality as, and constructed concurrently with, the other, market-rate units in the Proposed Project on the Project Site.
 - c. That the Affordable Units shall be interspersed throughout the Project Site among the for-sale housing development.
 - d. That the Affordability Period be for a minimum term of 45 years.
 - e. That, to the extent permitted by applicable fair housing and other laws, the Applicant/Developer give reasonable preference in the sales of the Affordable Units to existing residents of, or persons who work in, Mission Viejo.
 - f. That the initial owner of an Affordable Unit, or its authorized designee, agrees to comply with all reporting requests under the Affordable Housing Agreement, which agreement will include covenants of record that will run with the land and be binding during the 30-year Affordability Period.
 - g. That the Affordable Units shall meet all applicable requirements for housing, including without limitation the City of Mission Viejo Municipal Code, Uniform Building Code, other uniform codes, California Fair Employment and Housing Act, and the federal Fair Housing Act.
 - h. The Affordable Housing Agreement shall prove compliance with the affordable housing needs identified in the Housing Element of the City's General Plan and compliance with applicable affordable housing requirements under the California Government Code, the HSC and other applicable state and local laws and regulations. The Affordable Housing Agreement shall specify, with particulars, how Applicant/Developer will provide in the Proposed Project the 16 Affordable Units (9 Very Low and 7 Low Income) to be marketed, sold and resold during the Affordability Period at an Affordable Housing Cost. The Affordable Housing

Agreement shall identify the unit type, number of bedroom(s) and bathrooms(s) and general proposed location and dispersal of the Affordable Units in the Proposed Project. If construction of the Proposed Project will be phased, the Affordable Housing Agreement shall include a shall identify the number of phases and number of units in each phase (with breakdown between market units versus Affordable Units within each such phase), along with a housing implementation plan for the Affordable Units. All Affordable Units shall be designed, constructed, and completed, both exterior and interior improvements, of equal and comparable quality design, materials, amenities, etc. to the market-rate housing units in the Proposed Project. The Affordable Housing Agreement shall include a marketing and sales plan and the form of the homebuyer agreement, affordable housing covenants and resale restrictions, and affordable housing disclosure document for the Affordable Units (together, "Homebuyer Agreement"). Developer shall fully inform and disclose its obligation to provide the Affordable Units in the Proposed Project, and each prospective homebuyer for an Affordable Unit shall be given and true and complete copy of the form of the Homebuyer Agreement and be provided one-on-one housing counseling by Applicant/Developer (or its qualified designee) concerning their potential purchase of an Affordable Unit and ongoing ownership obligations and restrictions to such Affordable Unit.

- i. That prior to the issuance of a precise grading permit for the residential component of the Proposed Project, the Applicant/Developer shall submit documentation which identifies the 16 Affordable Units and shall enter into the Affordable Housing Agreement with the City. Pursuant to the Affordable Housing Agreement, Developer shall be obligated to construct, complete, and sell (utilizing an approved form of Homebuyer Agreement described above) ensuring that implementation of the nine (9) Very Low and seven (7) Low Income Affordable Units at the Proposed Project. The Affordable Housing Agreement between Developer and City shall incorporate and append the approved form of the Homebuyer Agreement including affordable housing covenants and resale restrictions and such Affordable Housing Agreement itself (or a memorandum of agreement thereof in a form approved by City Attorney) shall be caused by Developer to be recorded against the subject property in a senior, non-subordinate priority. Applicant/Developer's obligation to provide the 16 Affordable Units in the Proposed Project shall run with the Project Site, shall be binding upon each and all successor(s) in interest of the initial owner/party to the Affordable Housing Agreement, and shall be recorded in the Official Records, County of Orange in senior, non-subordinate priority.

106. That the Applicant/Developer shall, prior to issuance of a building permit for construction of the first residential unit of the 105 units of the Proposed Project shall deposit with the City the sum of Twenty Thousand Dollars (\$20,000). The City shall use the funds solely to accomplish review of each affordable housing transfer to the initial purchaser of each of the 16 Affordable Units. The reasonable and necessary time of City staff, legal counsel, finance experts, and any professional the City deems necessary to evaluate the prospective and actual homebuyers, the seller, and applicable lenders' and to cause execution and implementation of the Affordable Housing Agreement, CC&Rs, Homebuyer Agreement and related instrument, document, or action. The Applicant/Developer shall replenish the account, so as to maintain the \$20,000 account balance, at the time the account is depleted to the sum of Five Thousand Dollars (\$5,000). Applicant acknowledges and agrees, by accepting this funding condition, that the City shall cease reviewing the transactional documents at any time, and from time-to-time, when the account balance reaches One Thousand Dollars (\$1,000) or less. The City shall promptly commence its review activities upon the replenishing of the account back to the \$20,000 amount. The duties, obligations, and performances required of the Applicant/Developer may be transferred, subject to the City's reasonable approval of the transferee's ability and prior experience to perform the necessary performances, including funding the account. At the initial sale of the 16th Affordable Unit, any monies remaining in the account, minus the City's reasonable processing costs, shall be promptly returned to the applicant or transferee.

PASSED, APPROVED AND ADOPTED THIS 13th DAY OF MAY 2019.

Joseph C. Blum, Chairman

Elaine Lister, Secretary

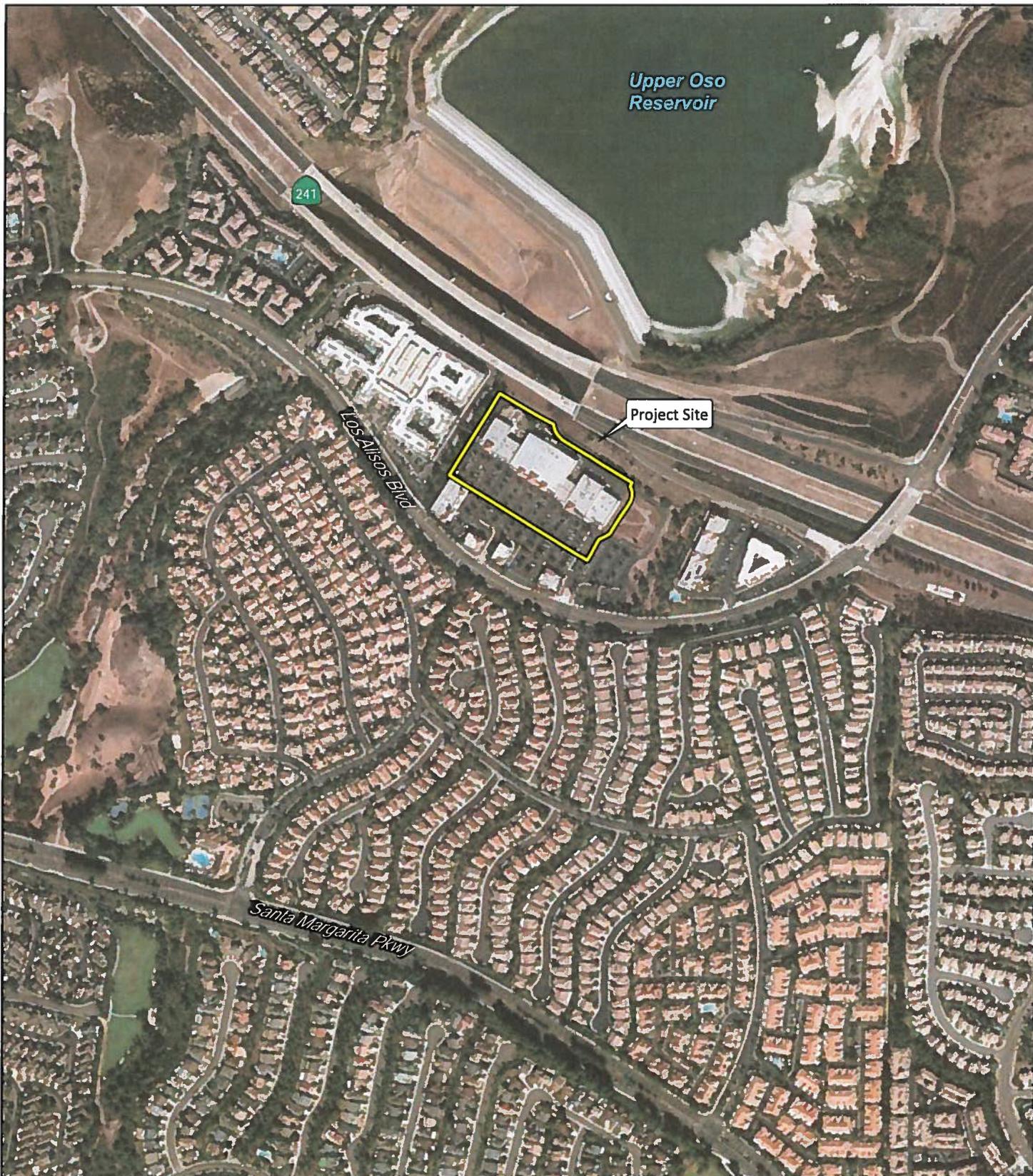
PROPERTY OWNER'S / APPLICANT'S ACKNOWLEDGMENT

I have read, understand, and accept the conditions of approval set forth herein above in this resolution of approval for Planned Development Permit PDP2018-303, Variance VAR2019-51, and Tentative Tract Map TTM18187.

Date

Shea Homes Limited Partnership

G:\CD\WP\currentplan\Larry\Projects_PDP\PDP2018-303, Shea @ Mission Foothill\PTC\Reso - PDP2018-303 VAR2019-51
TTM18187.doc



LSA

LEGEND

 Project Site

FIGURE 2-2



0 300 600
FEET

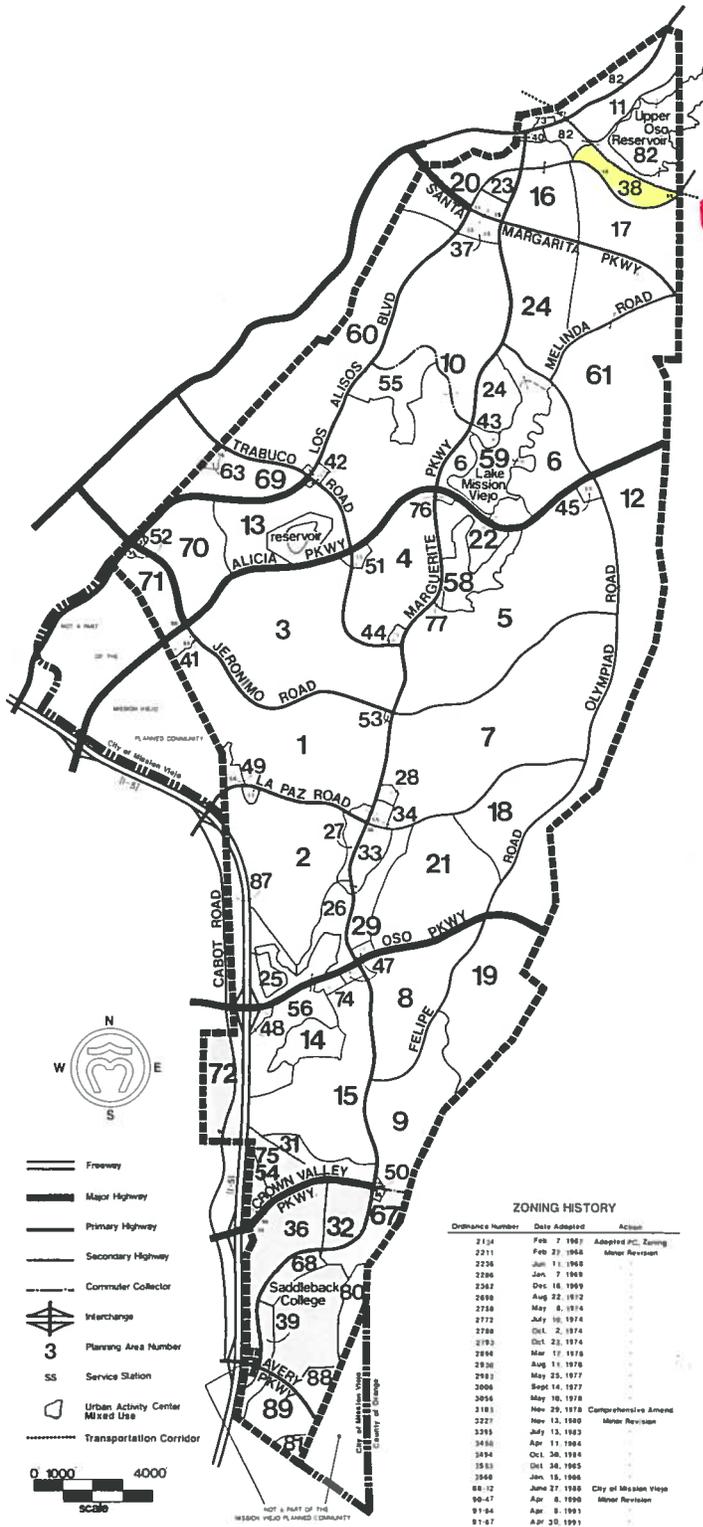
SOURCE: Esri (2017)

I:\SHO1704.02\GIS\MXD\ProjLoc.mxd (9/4/2018)
Item# 4

Mission Foothills
Residential Project
Project Vicinity

MISSION VIEJO

PLANNED COMMUNITY DEVELOPMENT PLAN



STATISTICAL SUMMARY

Pursuant to the provisions of the Planned Community Act, the allocation of dwelling units may be adjusted from time to time through the Area Plan process. This Summary is current through Zone Change ZC 98-13.

Residential Category	Planning Area	Gross Acres	Gross Residential Acres	Total* DU/PA	DU/AC
Medium Low Density 3.5 0.0-3.5 du/ac Range	1	478	409	1,567	3.3
	2	337	218	892	2.6
	4	282	235	828	3.2
	6	144	133	478	3.3
	7	575	520	1,748	3.0
	8	301	266	905	3.0
	10	716	638	2,213	3.1
	12	423	287	706	1.7
	15	301	281	852	2.8
	20	134	79	285	2.1
	21	286	253	660	2.3
	25	38	36	97	2.7
	60	418	391	1,270	3.0
81	533	441	1,463	2.7	
89	83	36	160	1.9	
Subtotal	5,027	4,223	14,125	2.8	
Medium Density 6.5 3.5-6.5 du/ac Range	3	539	494	2,101	3.9
	5	584	550	2,148	3.7
	9	206	176	1,249	6.1
	13	211	194	1,328	6.3
	14	56	56	316	5.6
	17	208	185	904	4.3
	18	240	213	982	4.1
	19	246	236	1,002	4.1
	22	58	54	27	6.4
	26	69	54	302	4.4
	29	60	57	283	4.7
	69	111	85	644	5.8
	88	36	34	141	3.9
Subtotal	2,664	2,419	12,025	4.5	
High Density 14 6.5-14.0 du/ac Range	11	112	65	850	7.6
	16	118	95	756	6.3
	24	232	178	1,868	8.1
	31*	—	—	216	—
	32	67	61	622	9.3
	Subtotal	629	397	4,294	8.1
Heavy Density 30 14.0-30.0 du/ac Range	23	20	20	312	15.6
	28	10	10	166	16.6
	67*	—	—	156	—
	68	24	24	400	16.6
	75*	—	—	525	—
	77*	6	5	0	0.0
Subtotal	80	59	1,559	26.0	
TOTAL RESIDENTIAL	8,280	7,098	32,003*	3.9	

* PA 31 was allocated residential units by Zone Change 98-9
 * PA 67 was allocated residential units by Area Plan AP 82-18P
 * PA 75 was allocated residential units by Zone Change 98-8
 * Congregate Care Units, as defined in the Mission Viejo Planned Community Development Plan and Supplemental Text, are not considered as dwelling units and shall not be deducted from the total number of Dwelling Units/Planning Area permitted in the Mission Viejo Planned Community.
 * Total Dwelling Units/Planning Area are estimates. Any Residential Planning Area may be developed below or above the range and total, subject to approval of an Area Plan, as long as the minimum figure of 25,000 dwelling units is not exceeded for the entire Planned Community.

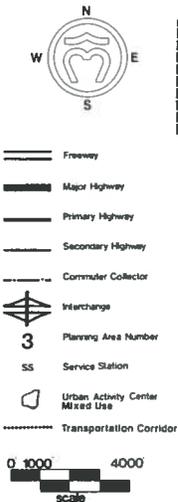
Commercial Category	Planning Area	Approximate Gross Acres	Net Useable Acres
Community Center	33	40	35
	34	16	12
	37	59	39
	49	22	18
	41	10	8
	42	8	6
	43	9	7
	44	6	4
	45	14	9
	47	20	16
Neighborhood Center	50	7	6
	51	11	8
	52	7	6
	53	2	1
	63	3	2
	35	62	50
	39	44	37
	40	9	4
	46	8	7
	87	54	30
Regional Center	38	153	139
	54	16	13
Total Commercial	571	454	
Professional & Administrative Office	27	21	18
	31	53	50
	67	69	54
	74	9	9
	75	77	65
Total Office	76	3	2
	232	197	
Business Park	70	135	128
	71	90	84
	72	43	40
	73	3	3
	Total Business Park	271	255
Recreation/Open Space	55	94	86
	56	158	72
	58	206	206
	60	34	34
	81	9	9
Total Recreation/Open Space	82	175	
	742	52	
Saddleback College		176	
Reservoir		52	
GRAND TOTAL	10,324		

ZONING HISTORY

Ordinance Number	Date Adopted	Action
2124	Feb 7, 1967	Adopted P.C. Zoning
2211	Feb 27, 1968	Minor Revision
2226	Jun 11, 1968	
2286	Jan 7, 1969	
2362	Dec 16, 1969	
2696	Aug 22, 1970	
2758	May 8, 1974	
2772	July 10, 1974	
2786	Oct 2, 1974	
2793	Oct 23, 1974	
2894	Mar 17, 1976	
2930	Aug 11, 1976	
2943	May 25, 1977	
3006	Sept 14, 1977	
3094	May 10, 1978	
3181	Nov 29, 1978	Comprehensive Amend
3227	Nov 15, 1980	Minor Revision
3293	July 13, 1983	
3656	Apr 11, 1984	
3694	Oct 30, 1984	
3583	Oct 30, 1985	
3668	Jan 15, 1986	
6010	Jan 27, 1988	
90-47	Apr 6, 1990	Minor Revision
91-94	Apr 8, 1991	
91-67	Apr 30, 1991	
92-69	Feb 24, 1992	
93-136	Jan 23, 1993	
96-119	Oct 26, 1996	
96-118	Dec 19, 1996	
96-191	Sept 8, 1998	

CHRONOLOGY OF DWELLING UNIT RE ALLOCATIONS

Area Plan Number	Date Approved
AP 91-15P (PAs 12, 61)	Oct 7, 1991
AP 92-18P (PAs 5, 12, 14, 67, 77)	Sept 21, 1992
AP 94-19P (PAs 12, 21)	Apr 4, 1994





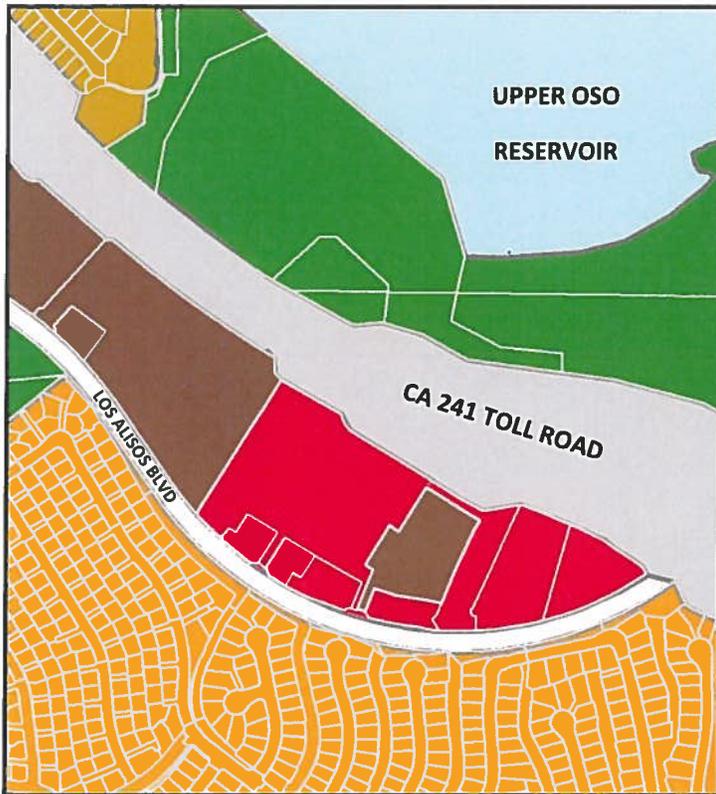
CITY OF MISSION VIEJO

Shea Homes Development Project

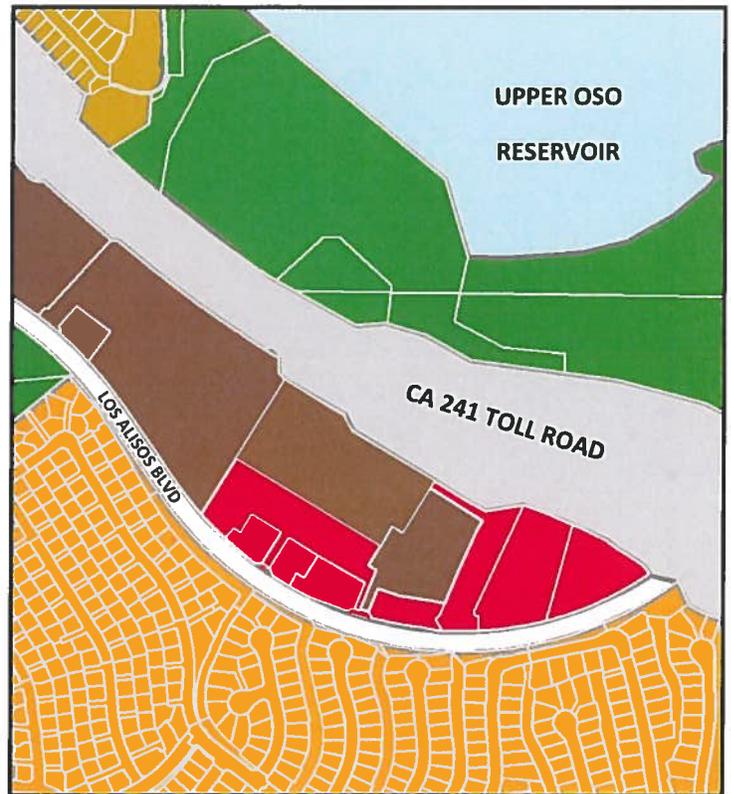
General Plan Amendment GPA2018-32

PROPOSED LAND USE POLICY MAP CHANGE

BEFORE



AFTER



LEGEND

LAND USE

RESIDENTIAL

- Residential 6.5 (3.5-6.5 du/ac)
- Residential 14 (6.5-14.0 du/ac)
- Residential 30 (14.0-30.0 du/ac)

COMMERCIAL

- Commercial Highway

OTHER

- Recreation/Open Space
- Community Facility
- Transportation Corridor



CITY OF MISSION VIEJO

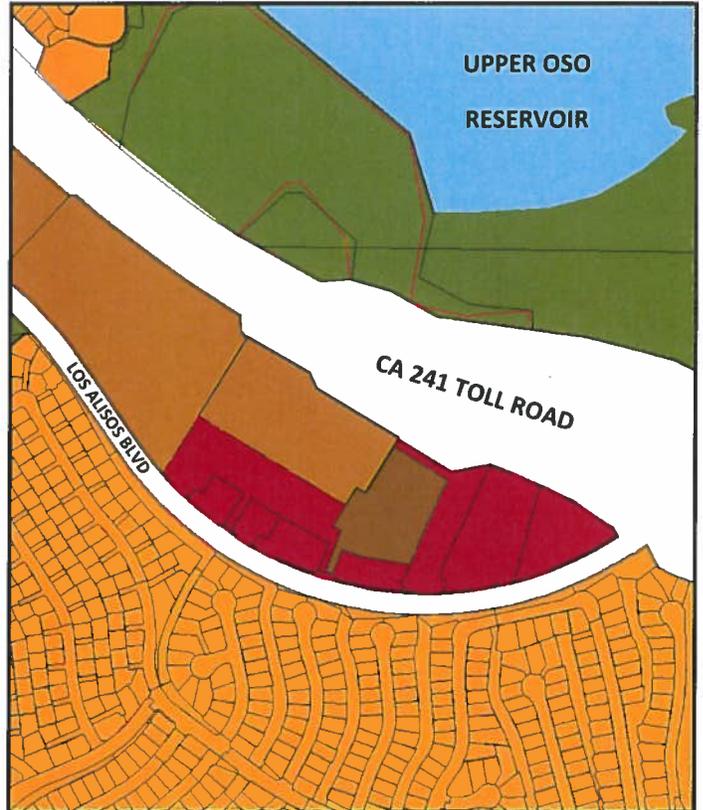
Shea Homes Development Project

Zone Change ZC2018-21

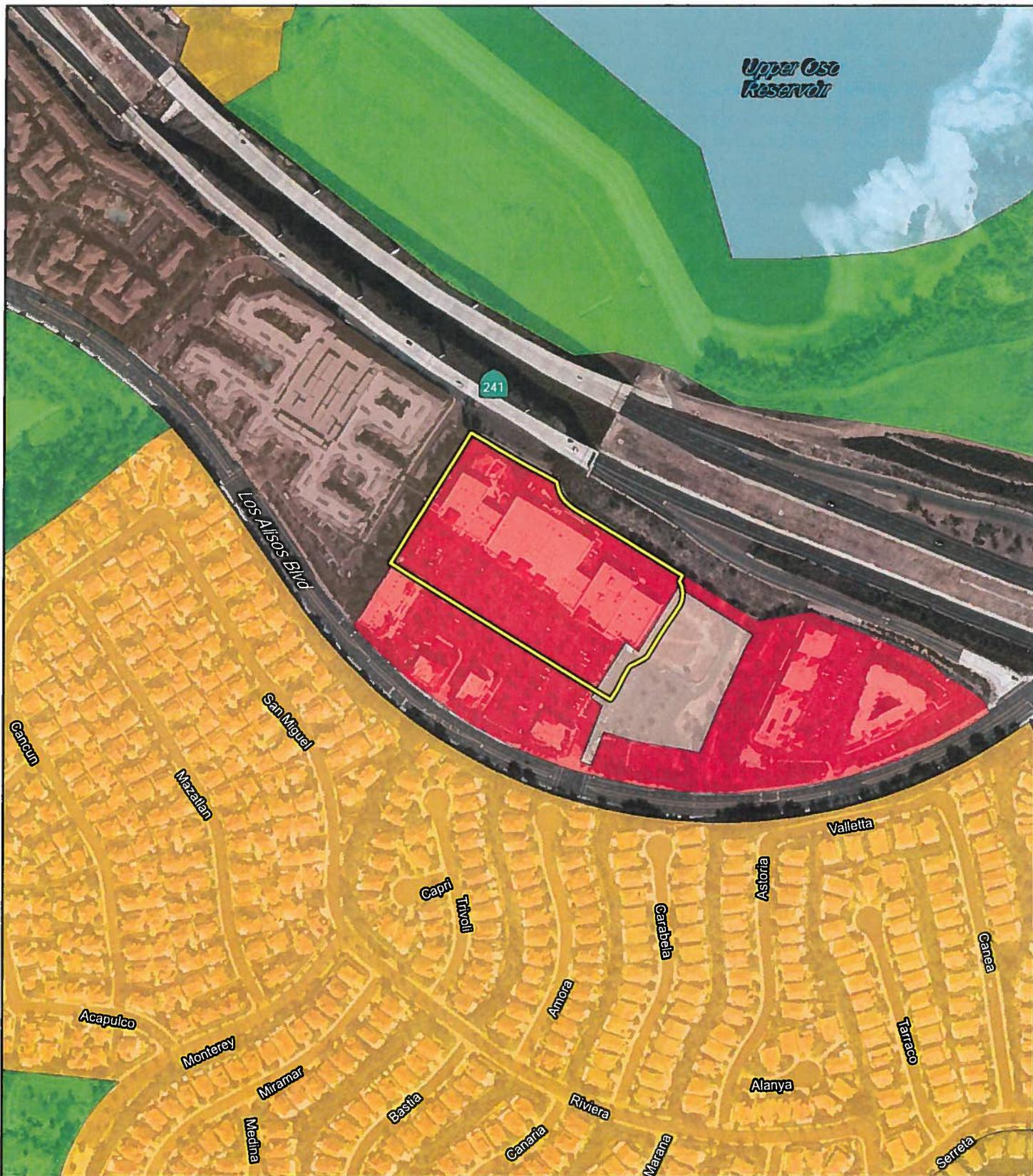
PROPOSED ZONING DISTRICTS MAP CHANGE

BEFORE

AFTER



LEGEND	
RESIDENTIAL	
	RPD 6.5 (Residential Planned Development)
	RPD 14 (Residential Planned Development)
	RPD 30 (Residential Planned Development)
	RPD 30A (Residential Planned Development - Affordable)
COMMERCIAL	
	CR (Commercial Regional)
OTHER	
	OS (Open Space)
	CF (Community Facility)



Upper Oso Reservoir

241

Los Alisos Blvd

Carcan

San Miguel

Mazatlan

Capri

Tivoli

Carabella

Astoria

Valletta

Canea

Acapulco

Monterey

Miramar

Medina

Bastia

Canaria

Riviera

Alanya

Marana

Tarasco

Serrata

LSA

LEGEND

-  Project Site
-  RPD 6.5 (Residential Planned Development)
-  RPD 14 (Residential Planned Development)
-  RPD 30 (Residential Planned Development)

-  RPD 30A (Residential Planned Development - Affordable)
-  CH (Commercial Highway)
-  R (Recreation)
-  CF (Community Facility)

FIGURE 2-5



SOURCE: City of Mission Viejo (2007)

Item# 4 \\SHP\1704.02\GIS\MXD\Zoning.mxd (10/18/2018)

ATTACHMENT 7

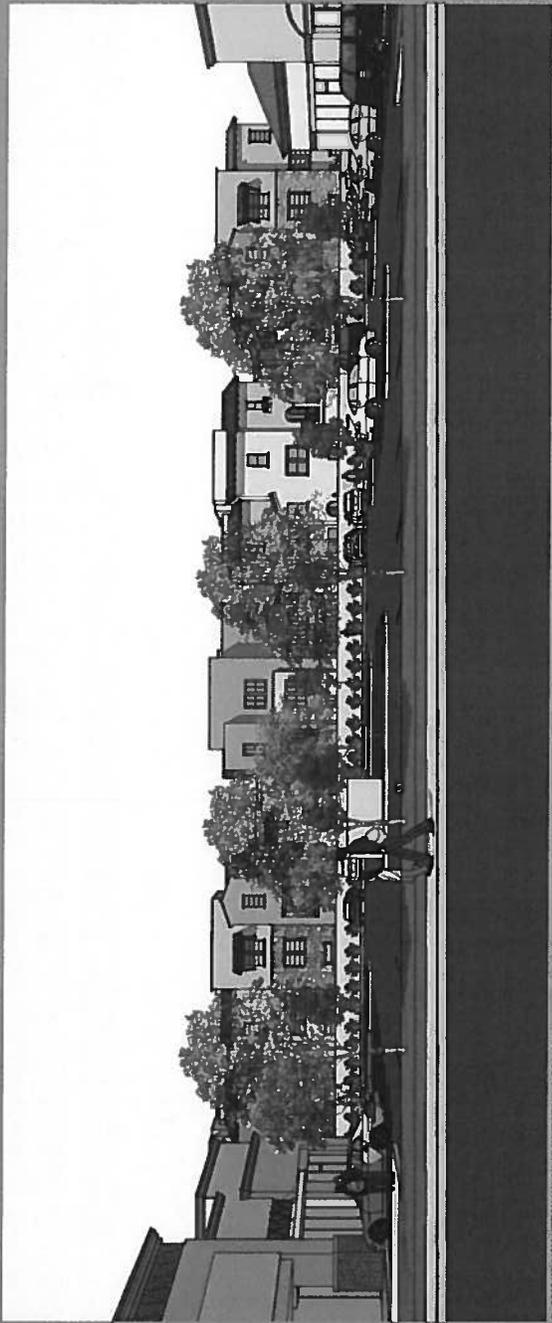
Mission Foothills Residential Project Zoning Map

**TABLE LU-3
ANTICIPATED LAND USE AND POPULATION IN THE CITY**

LAND USE DESIGNATION	Gross Acres (a)	Dwelling Units	Population	Square Footage (000's) (C)
Residential				
- Residential 3.5	2,245	8,027	22,476	
- Residential 6.5	3,895	18,137	50,784	
- Residential 14	648	4,516	12,644	
- Residential 30	211	3,910	10,948	
Commercial				
- Commercial Neighborhood	67			583.70
- Commercial Community	135			1,176.12
- Commercial Highway	145			1,651.8
- Commercial Regional	-			-
Commercial Intensive Overlay				
- Community Facility	28			487.87
- Commercial Highway	5			87.12
- Commercial Regional	74			1,289.38
- Office/Professional	47			1,151.17
Office				
- Office/Professional	91	319	893	1,585.58
Industrial				
- Business Park	249			4,061.54
Mixed-Use				
- Com. Neighborhood/ Community Facility/Res. 14	5	(d)		43.55
- Commercial Highway/Office Professional	9(e)			156.82
- Office/Res. 30/Business Park	41			438.71
Other				
- Community Facility	735			6,401.38
- Recreation/Open Space	2,019			5,110.12
- Transportation Corridor	997			-
Total	11,646	34,909	97,745	24,224.86

Notes:

- (a) For purposes of establishing net acreage by category, the gross acreage for residential land uses should be reduced by 25% and nonresidential uses by 20% because Mission Viejo's topography is not flat and has considerable slope area.
- (b) Population is based on State Department of Finance estimate of 2.8 persons per household.
- (c) Square footage for nonresidential categories is based on average FAR for uses represented.
- (d) No Residential development calculated because the only site with this designation is presently developed as commercial neighborhood.
- (e) Also lies within Commercial Intensive Overlay.



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Mission Foothills

Mission Viejo, CA

Architecture

CONCEPTUAL TRASH STAGING PLAN..... SP-1
 Color & Elevation Assignments..... SP-2
 PERSPECTIVE SCENES | S.F.D. SP-3
 PERSPECTIVE SCENES | 6-Plex Town Homes..... A1.1
 PERSPECTIVE SCENES | S.F.D. A1.2
 PERSPECTIVE SCENES | S.F.D. A1.3
 PERSPECTIVE SCENES | S.F.D. A1.4
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 INTERLOCKING TOWN HOMES | 5-Plex 'A' Elevations..... A1.6
 INTERLOCKING TOWN HOMES | 5-Plex 'B' Elevations..... A1.7
 INTERLOCKING TOWN HOMES | 6-Plex 'A' Elevations..... A1.8
 INTERLOCKING TOWN HOMES | 6-Plex 'B' Elevations..... A1.9
 INTERLOCKING TOWN HOMES | 6-Plex 'A' Elevations..... A1.10
 INTERLOCKING TOWN HOMES | 6-Plex 'B' Elevations..... A1.11
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 INTERLOCKING TOWN HOMES | 6-Plex Elevations..... A1.13
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 S.F.D. | Typical Sub Alley Cluster Plans (Along Paseo)..... A2.2

S.F.D. | Typical Sub Alley Cluster Plans (Along Paseo)..... A2.3
 S.F.D. | Typical Sub Alley Cluster Plans (Along Paseo)..... A2.4
 S.F.D. | Typical Sub Alley Cluster Plans (Along Paseo)..... A2.5
 S.F.D. | Typical Sub Alley Cluster Plans (Along Paseo)..... A2.6
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 S.F.D. | Plan 4 Floor Plans..... A2.12
 S.F.D. | Plan 5 Floor Plans..... A2.13
 S.F.D. | Plan 6 Floor Plans..... A2.14
 S.F.D. | Conceptual Alley Elevation..... A2.15
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 POOL RESTROOM BUILDING | Elevations..... A2.17
 POOL RESTROOM BUILDING | Perspectives..... A2.18
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 INTERLOCKING TOWN HOMES | Exterior Color and Materials..... CM-2
 S.F.D. | Exterior Color and Materials..... CM-3

S.F.D. | Exterior Color and Materials..... CM-4
 S.F.D. | Exterior Color and Materials..... CM-5
 S.F.D. | Exterior Color and Materials..... CM-6
 S.F.D. | Exterior Color and Materials..... CM-7
 View Simulations..... VS-1
 View Simulations..... VS-2

Landscape Architecture

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 Recreation Center Enlargement..... LC 1.02
 10' Lot Enlargement..... LC 1.03
 Picnic and BBQ Area Enlargement..... LC 1.04
 Site Assembly Cut Sheet..... LC 1.05 - LC 1.07
 Planning Schedule..... LP 0.01
 Planning Plan..... LP 1.01 - LP 1.08

Civil Engineering

Tentative Tract Map..... 1 - 5



Shea Homes
 Contact: Brooke Doi
 2 Ada, Suite 200, Irvine, CA 92618
 949.526.8837 | brooke.doi@sheahomes.com



WHA
 ARCHITECTS, PLANNERS, LEISURE
 Contact: Jeff Chelwick
 2850 Redhill Ave, Suite 200 Santa Ana, CA 92705
 949.250.0607 | jeff@whainc.com

Proactive Engineering Consultants

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 20532 El Toro Road, Suite 202,
 Mission Viejo, CA 92692
 949.716.7460 | MarkAnderson@proactiveengineering.net



C2 Collaborative

Contact: Faye Miller
 416 North El Camino Real, San Clemente, CA 92672
 949.366.6624 | fmkletar@c2collaborative.com



Sheet Log	
Sheet 1	06/06/2018
Sheet 2	09/14/2018
Sheet 3	02/20/2019
Sheet 4	04/17/2019
File No	

Zoning Summary
 Existing General Plan: Commercial Highway
 Proposed General Plan: Residential 30
 Existing Zoning: Commercial Community
 Proposed Zoning: Residential Planned Development 30

Project Summary
 Total Site Area: ± 6.73 Acres
 Total Units: 105 Homes
 • (44) SFD Homes
 • (61) Townhomes
 Density: 15.6 Homes per Acre
Residential Parking:
 Required: 245 Spaces (2.33 spaces per home)
 • 2 Covered Spaces per Unit: 210 Spaces
 • 1 Guest Space per every 3 Units: 35 Spaces
 Provided: 275 Spaces (2.62 spaces per home)
 • Garage: 210 Spaces
 • Head In*: 43 Spaces (9' x 18')
 • Parallel: 22 Spaces (8' x 24')
 • Includes 4 ADA spaces at the rec areas

Retail Parking:
 Required: 155 Spaces
 • Building 1: 48 spaces
 • Building 2: 36 spaces
 • Building 3: 39 spaces
 • Building 4: 72 spaces
 Provided: 222 Spaces
 • Existing Parking: 77 Spaces
 • Revised Parking: 145 Spaces (9' x 18')



Typical 3-Story Townhomes
 • ± 1,215 - 1,950 S.F.
 • 2-4 bedrooms
 • 2 car side-by-side & tandem garages
 • Patios and decks

Gathering Space
 • BBQs
 • Sitting Areas
Gathering Space
 • Tot Lot
 • Sitting Areas

Typical 3-Story Single Family Detached Homes
 • ± 1,913 - 2,127 S.F.
 • 3 bedrooms (4th bedroom option on all plans)
 • 2 car side-by-side garage
 • Private yards

Neighborhood Entry
 • Enters on to Rec Area providing enhanced entry experience

Community Recreation Area
 • Pool
 • Sitting Areas
 • Restroom Building

**CONCEPTUAL SITE PLAN
 MISSION FOOTHILLS**

MISSION VIEJO, CA



CITY SUBMITTAL
 | 2017361 | 05-01-19



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Notes:
 1. Site plan to be prepared in accordance with...
 2. Site plan used for preliminary planning, building, and for...
 3. All dimensions are in feet unless otherwise noted.
 4. Call engineer to verify all setbacks and grading information.
 5. Building footprint may change due to final design.
 6. Other spaces may be subject to change due to this delivery.
 7. Building setbacks are measured from property line to building footprint line.



Multi-Family

Elevation Style **A3** Color Scheme

Single Family Detached

Elevation Style **T1** Color Scheme

- T Tuscan Inspired Elevation
- S Spanish Inspired Elevation
- F Farmhouse Inspired Elevation

- Single family elevation enhancements
- == Additional elevation enhancements



COLOR & ELEVATION ASSIGNMENTS
MISSION FOOTHILLS



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MISSION VIEJO, CA

SP-3

2017361 | 04-17-19



Perspective Scene 2



Perspective Scene 1

Note:
1. Artist's conception; colors, materials and application may vary.
2. Refer to landscape plans for plant materials and layout.



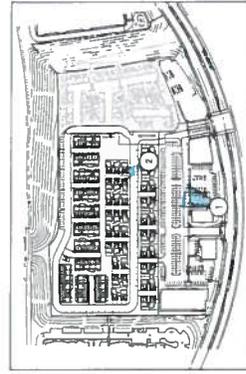
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PERSPECTIVE SCENES | S.F.D.
MISSION FOOTHILLS

MISSION VIEJO, CA

A1.1

Perspective Scenes Key
N.T.S.



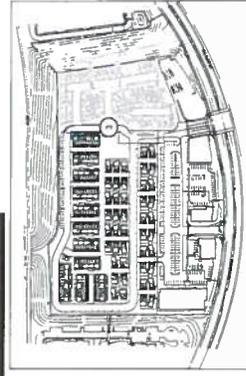
ARCHITECT - PLANNING - DESIGNING
WHA
SIRIAPANE COURTY - LOS ANGELES - BAY AREA

2017061 | 04-17-19



Note:
 1. Artist's conception; colors, materials and application may vary.
 2. Refer to landscape plans for plant materials and layout.

Perspective Scene 3



Perspective Scenes Key
N.T.S.

PERSPECTIVE SCENES | 6-Plex Town Homes
MISSION FOOTHILLS



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A1.2

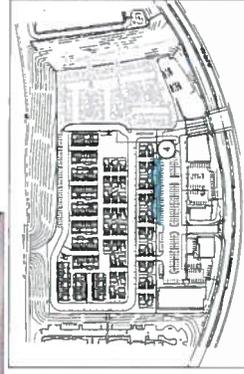


2017361 | 04-17-19



Note:
 1. Artist's conception; colors, materials and application may vary.
 2. Refer to landscape plans for plant materials and layout.

Perspective Scene 4



Perspective Scenes Key
N.T.S.



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**PERSPECTIVE SCENES | S.F.D.
 MISSION FOOTHILLS**

MISSION VIEJO, CA

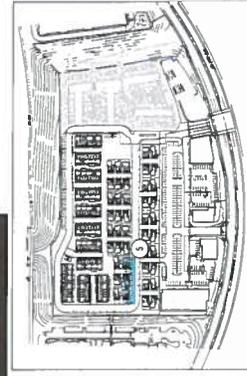
A1.3

2017261 | 04-17-19



Note:
 1. Artist's conception; colors, materials and application may vary.
 2. Refer to landscape plans for plant materials and layout.

Perspective Scene 5



Perspective Scenes Key
N.T.S.

**PERSPECTIVE SCENES | S.F.D.
 MISSION FOOTHILLS**



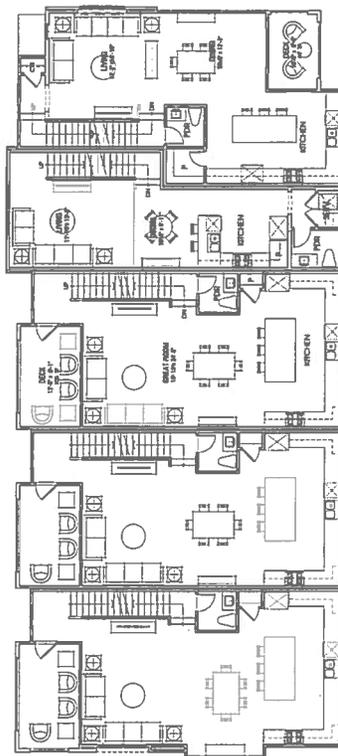
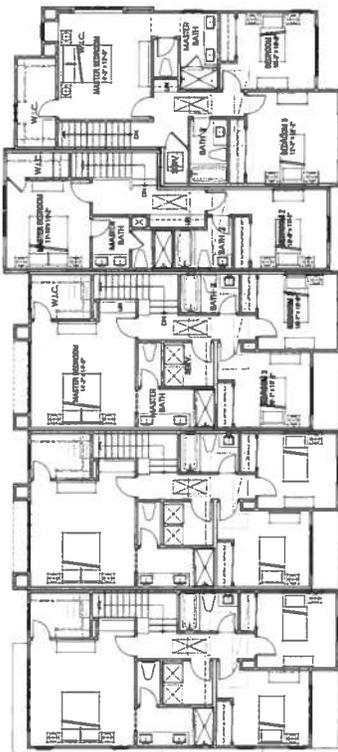
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MISSION VIEJO, CA

A1.4

2017361 | 04-17-19



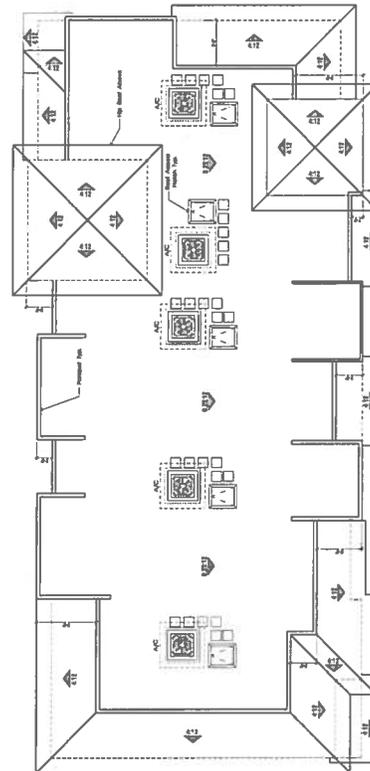
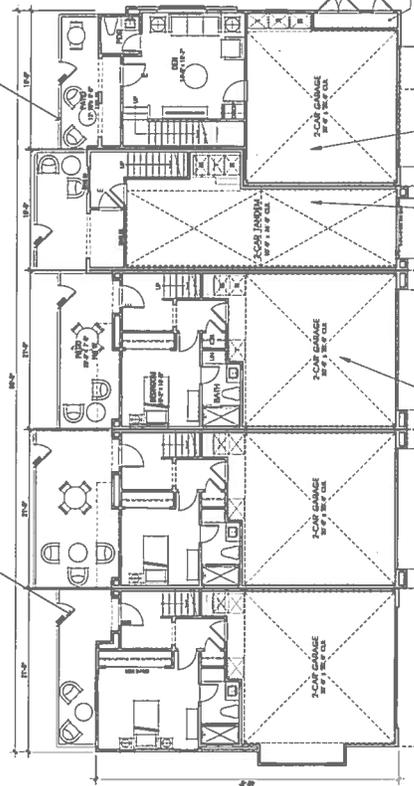


Pole fences vary per building. Refer to Landscape Plans.

Gate locations vary. Refer to Landscape Wall and Fence Plan.

Third Floor

Second Floor



- Plan 3
4 BEDROOM / 1.5 BATH / OPT. DEN
+/-266 SF PRIVATE OPEN SPACE
- Plan 1
2 BEDROOM / 2.5 BATH
+/-143 SF PRIVATE OPEN SPACE
- Plan 2
3 BEDROOM / 2.5 BATH / DEN
+/-199 SF PRIVATE OPEN SPACE

Roof Plan

First Floor

OCCUPANCY: R2
CONSTRUCTION TYPE: V8 FULL 13
SPRINKLER SYSTEM:
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



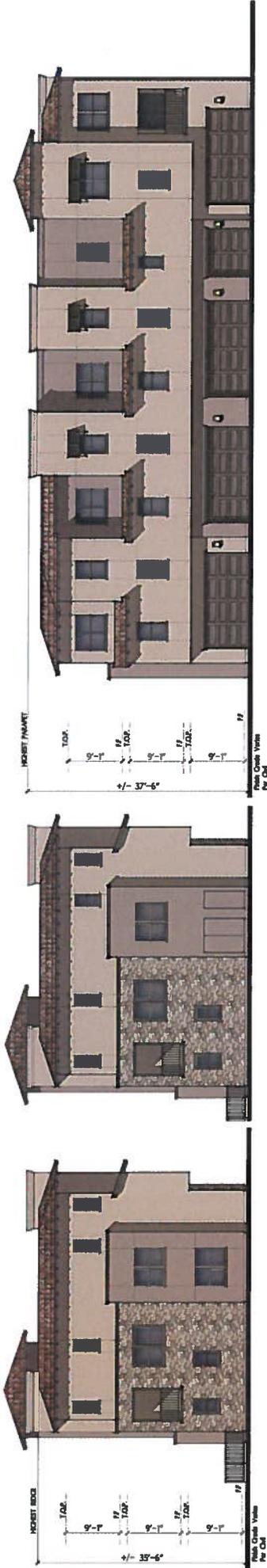
A1.5
2017261 | 04-17-19

INTERLOCKING TOWN HOMES | 5-Plex Floor Plans
MISSION FOOTHILLS



MISSION VIEJO, CA

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Right Elevation

Right Elevation
(Condition with meter cabinet)

Rear Elevation



Left Elevation

Front Elevation

Color Scheme 1 Shown, Refer to Sheet CM-1

BUILDING MATERIAL:

- Roof: Flat Roof with Parapet, S-lile Roof w/ Exposed Rafter Tails
- Exterior: Stucco Finish
- Accent Windows: Shucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Awning: Decorative Metal Awning
- Entry Door: Decorative Front Entry Door
- Accents: Stone Veneer
- Garage Door: Sectional Garage Doors

Note:
 1. Artist's conception; colors, materials and application may vary.
 2. Refer to landscape plans for plant materials and layout.



INTERLOCKING TOWN HOMES | 5-Plex "A" Elevations
MISSION FOOTHILLS

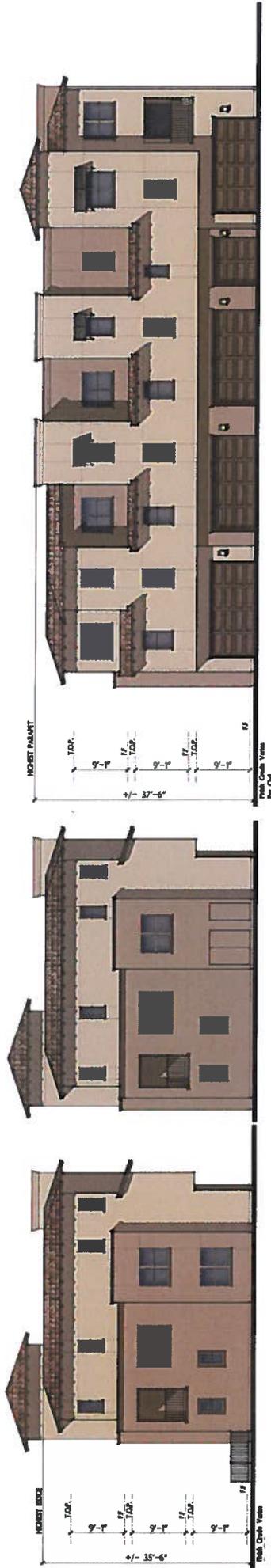
MISSION VIEJO, CA

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A1.6

2017361 | 04-17-19





Rear Elevation

Right Elevation
(Condition with meter cabinet)

Right Elevation



Left Elevation

Front Elevation
Color Scheme 2 Shown, Refer to Sheet CM-1

BUILDING MATERIAL:

- Roof: Flat Roof with Parapet; S-tille Roof w/ Exposed Rafter Tails
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Awning: Decorative Metal Awning
- Entry Door: Decorative Front Entry Door
- Accents: Stone Veneer
- Garage Door: Sectional Garage Doors

Note:
1. Artist's conception; colors, materials and application may vary.
2. Refer to landscape plans for plant materials and layout.

INTERLOCKING TOWN HOMES | 5-Plex "B" Elevations
MISSION FOOTHILLS



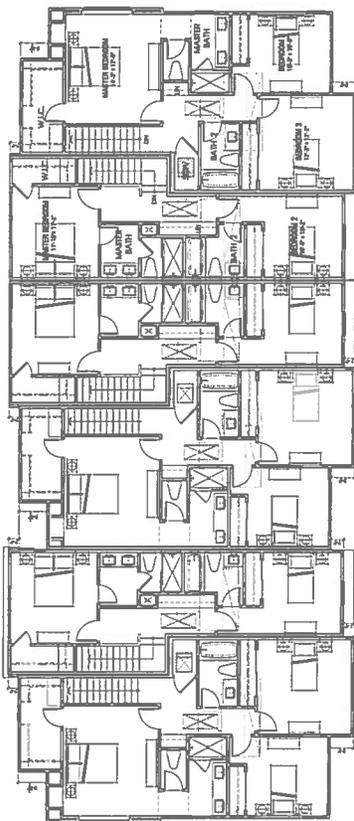
MISSION VIEJO, CA

© 2018 WILLIAM NEZMALUCH ARCHITECTS, INC. DBA WHA.

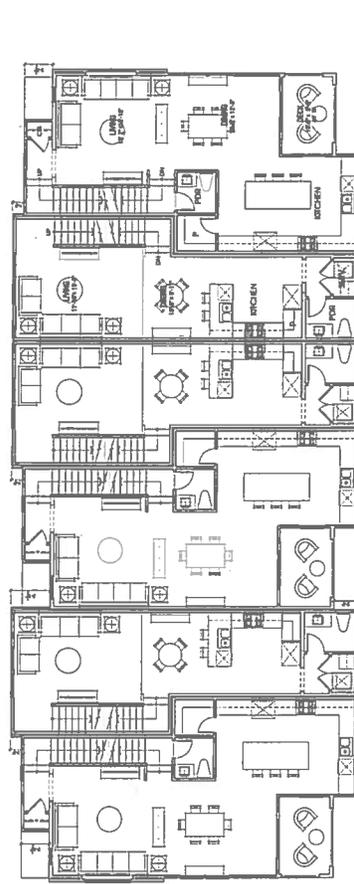
A1.7



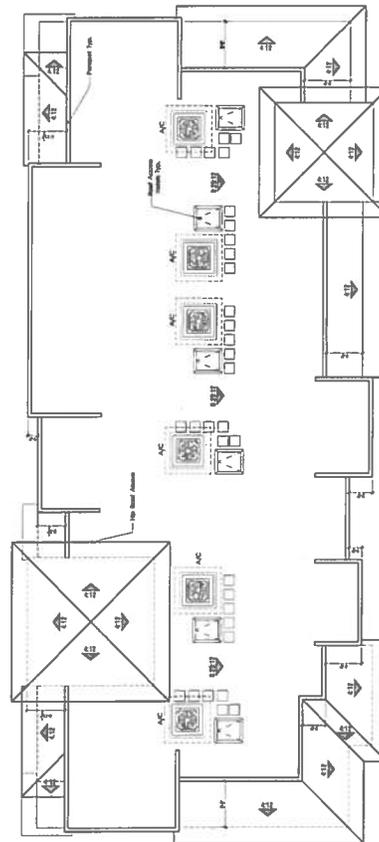
2017361 | 04-17-19



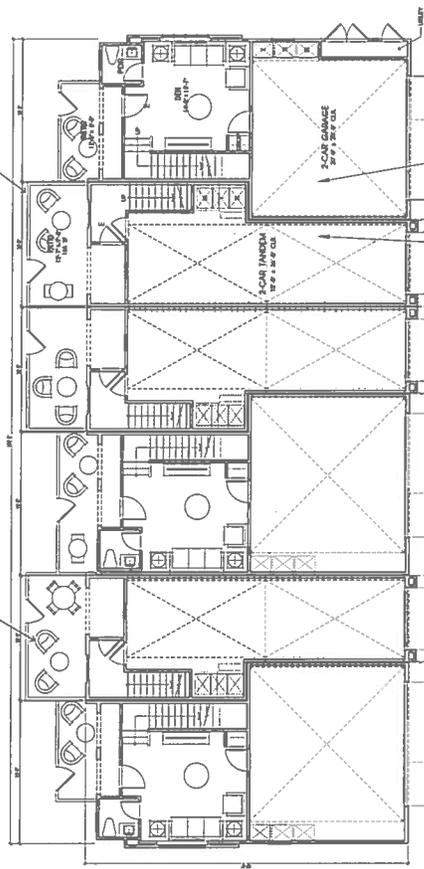
Third Floor



Second Floor



Roof Plan



First Floor

Gate locations vary. Refer to Landscape Wall and Fence Plan.

Patio fence vary per building. Refer to Landscape Plans.

Plot 1
2 BEDROOM / 2 BATH
41-121 SF
41-121 SF PRIVATE OPEN SPACE

Plot 2
3 BEDROOM / BATH / DEN
41-221 SF
41-221 SF PRIVATE OPEN SPACE

OCCUPANCY: R2
CONSTRUCTION TYPE: V8
SPRINKLER SYSTEM: FULL 13

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ARCHITECT: PLANNING + DESIGN/ARCH



ORANGE COUNTY, LOS ANGELES, IMP AREA

A1.8

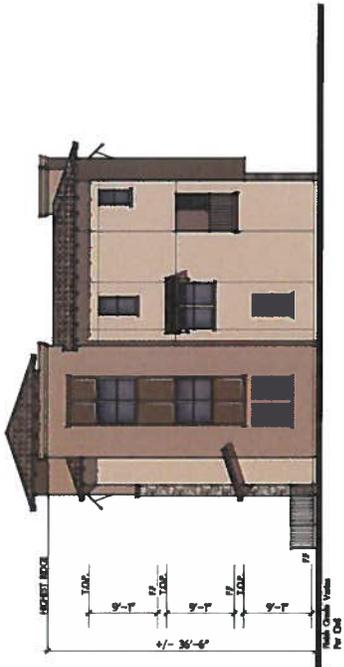
2017361 | 04-17-19

INTERLOCKING TOWN HOMES | 6-Plex Floor Plans
MISSION FOOTHILLS

MISSION VIEJO, CA



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Right Elevation



Rear Elevation



Left Elevation

BUILDING MATERIAL:

- Roof: Flat Roof with Parapet; S-tile Roof w/ Exposed Rafter Tails
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Awning: Decorative Metal Awning
- Entry Door: Decorative Front Entry Door
- Accents: Stone Veneer
- Garage Door: Sectional Garage Doors



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Front Elevation
Color Scheme 3 Shown, Refer to Sheet CM-2

Note:
1. Artist's conception; colors, materials and application may vary.
2. Refer to landscape plans for plant materials and layout.

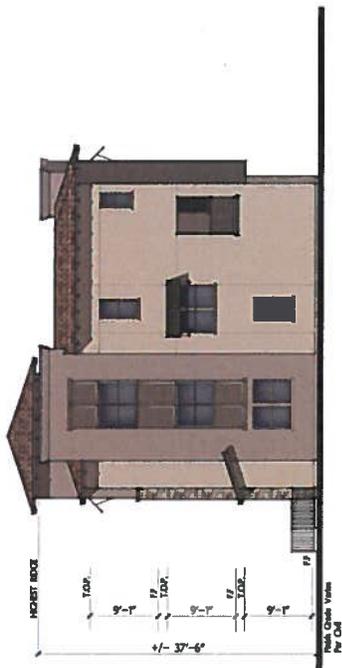
INTERLOCKING TOWN HOMES | 6-Plex 'A' Elevations
MISSION FOOTHILLS

MISSION VIEJO, CA

A1.9



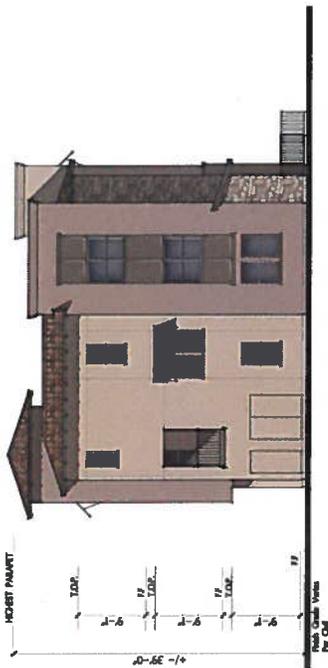
2017381 | 04-17-19



Right Elevation



Rear Elevation



Left Elevation



Front Elevation

Color Scheme 1 Shown, Refer to Sheet CM-1

BUILDING MATERIAL:

- Roof: Flat Roof with Parapet, S-like Roof w/ Exposed Rafter Tails
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Awning: Decorative Metal Awning
- Entry Door: Decorative Front Entry Door
- Accents: Stone Veneer
- Garage Door: Sectional Garage Doors

Note:
 1. Artist's conception; colors, materials and application may vary.
 2. Refer to landscape plans for plant materials and layout.

INTERLOCKING TOWN HOMES | 6-Plex 'B' Elevations
MISSION FOOTHILLS



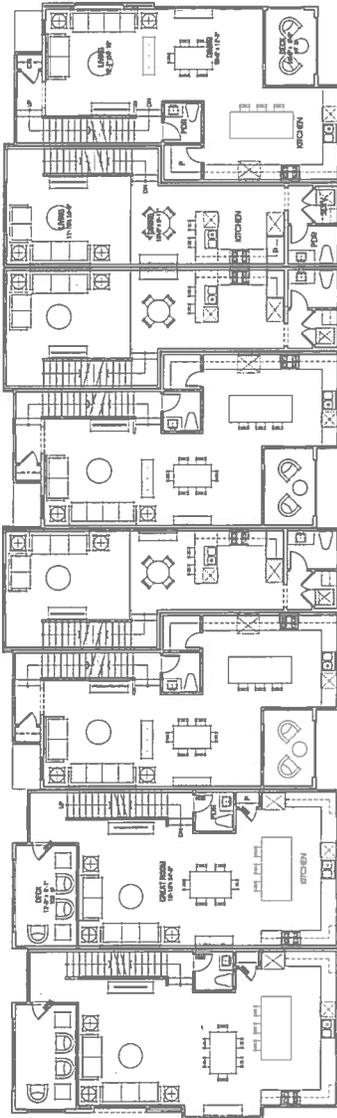
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MISSION VIEJO, CA

A1.10



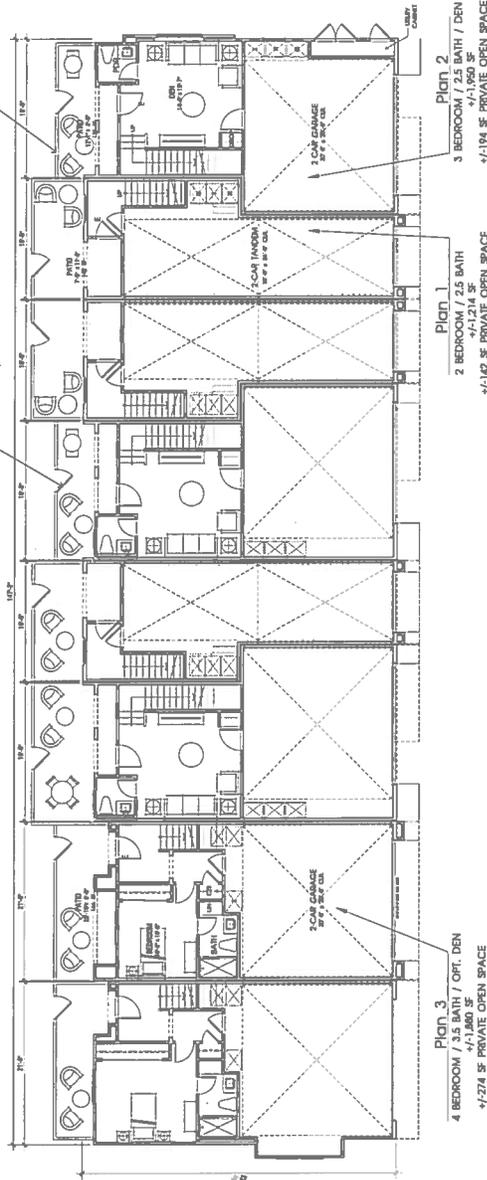
2017361 | 04-17-19
 CHANDLER COUNTY, ILLINOIS, DAN ARLA



Second Floor

Gate locations vary. Refer to Landscape Plan and Fence Plan.

Patio fence vary per building. Refer to Landscape Plans.



First Floor

OCCUPANCY: R2
 CONSTRUCTION TYPE: V8
 SPRINKLER SYSTEM: FULL 13
 NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ARCHITECT: PLANNING + DESIGN



A1.11

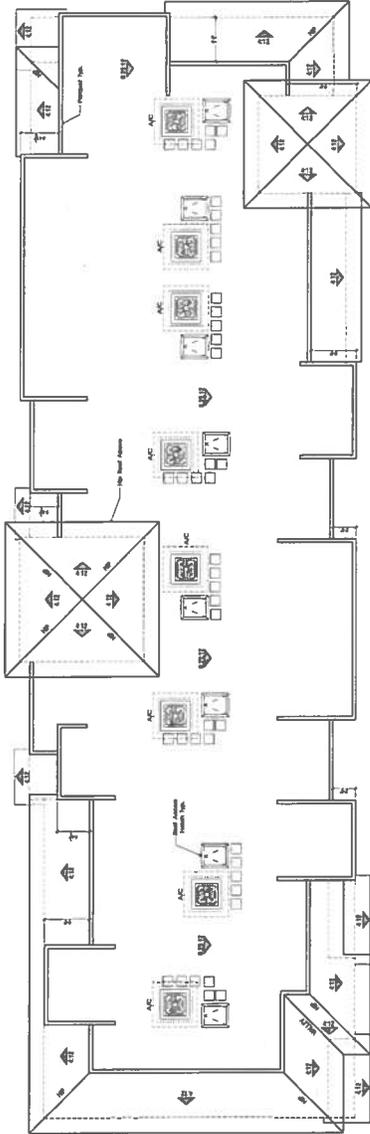
2017951 | 04-17-19

INTERLOCKING TOWN HOMES | 8-Plex Floor Plans
MISSION FOOTHILLS

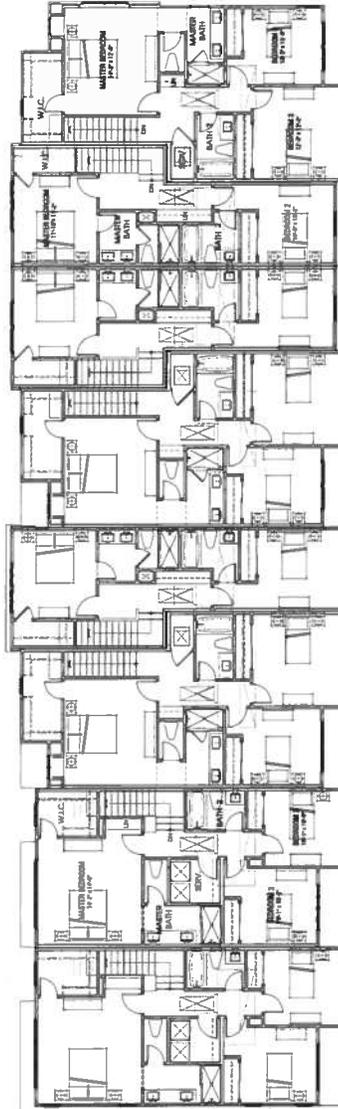
MISSION VIEJO, CA



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Roof Plan



Third Floor

INTERLOCKING TOWN HOMES | 8-Plex Floor Plans
MISSION FOOTHILLS

MISSION VIEJO, CA



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OCCUPANCY: R2
 CONSTRUCTION TYPE: V8
 SPRINKLER SYSTEM: FULL 13
 NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ARCHITECTS: PLANNERS • DESIGNERS



CHARLES COUNTY • LOS ANGELES • IRVINE AREA

A1.12

2017361 | 04-17-19



Rear Elevation



Front Elevation
Color Scheme 2 Shown, Refer to Sheet CM-1

BUILDING MATERIAL:

- Roof: Flat Roof with Parapet; S-shile Roof w/ Exposed Rafter Tails
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Awning: Decorative Metal Awning
- Entry Door: Decorative Front Entry Door
- Accents: Stone Veneer
- Garage Door: Sectional Garage Doors



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Note:
1. Artist's conception; colors, materials and application may vary.
2. Refer to landscape plans for plant materials and layout.

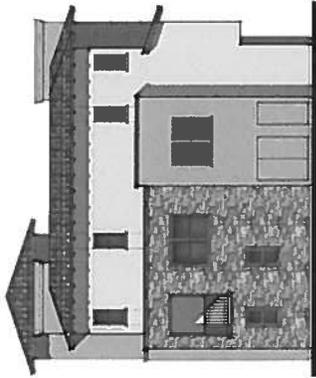
INTERLOCKING TOWN HOMES | 8-Plex Elevations
MISSION FOOTHILLS

MISSION VIEJO, CA

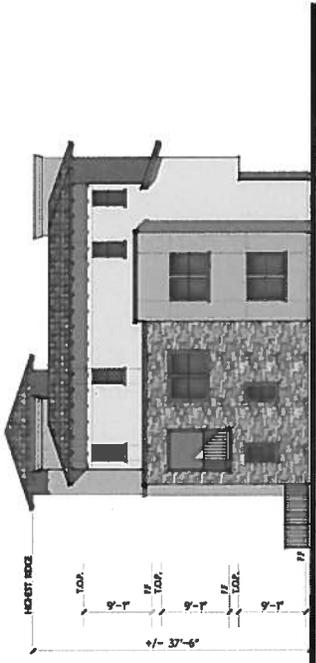
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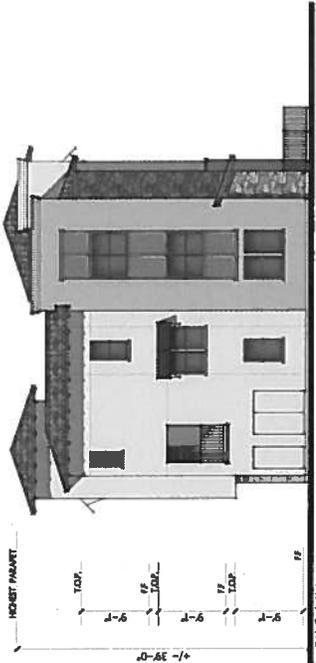
2017361 | 04-17-19



Right Elevation
(Condition with meter cabinet)



Right Elevation



Left Elevation

BUILDING MATERIAL:

- Roof: Flat Roof with Parapet, S-sile Roof w/ Exposed Rafter Tails
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Awning: Decorative Metal Awning
- Entry Door: Decorative Front Entry Door
- Accents: Stone Veneer
- Garage Door: Sectional Garage Doors



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**INTERLOCKING TOWN HOMES | 8-Plex Elevations
MISSION FOOTHILLS**

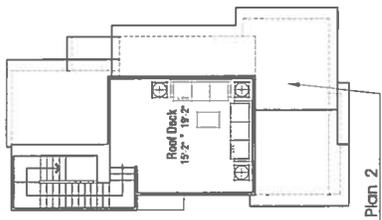
MISSION VIEJO, CA

A1.14

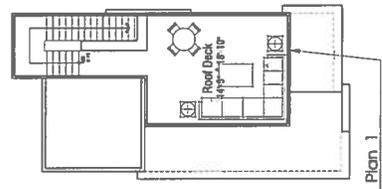
2017361 | 04-17-19



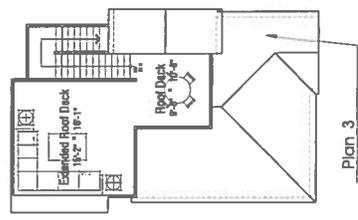
Note:
1. Artist's conception; colors, materials and application may vary.
2. Refer to landscape plans for plant materials and layout.



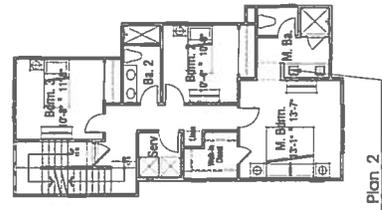
Plan 2



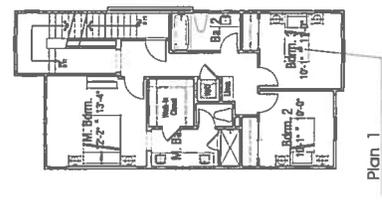
Plan 1



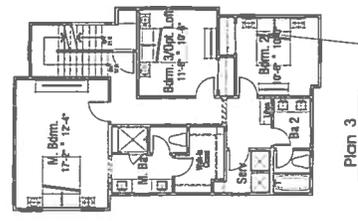
Plan 3



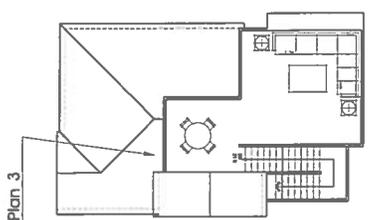
Plan 2



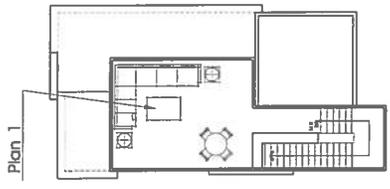
Plan 1



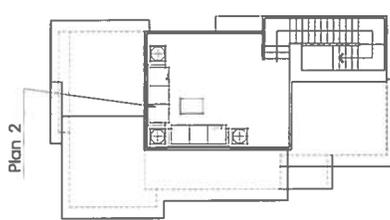
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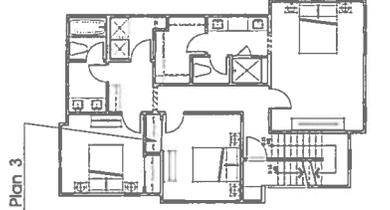
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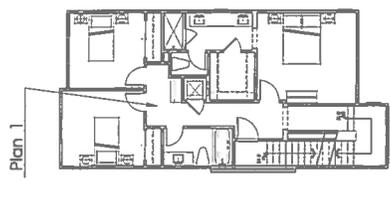
Plan 1



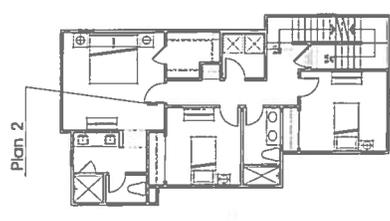
Plan 2



Plan 3



Plan 1



Plan 2

Roof Deck

Third Floor

S.F.D. | Typical Stub Alley Cluster Plans (Along Paseo)

MISSION FOOTHILLS

A2.2

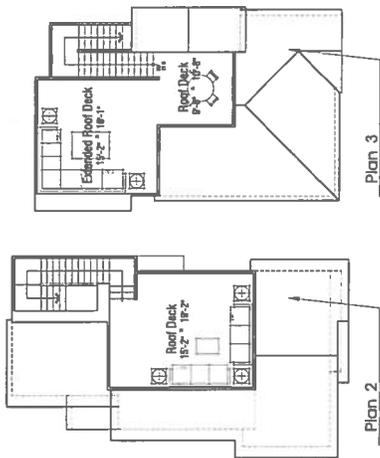


2017361 | 04-17-18

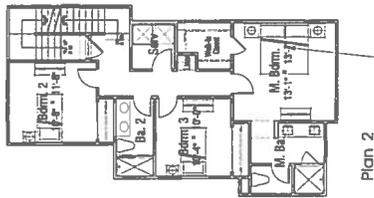
MISSION VIEJO, CA

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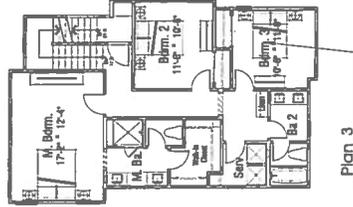




Roof Plan



Third Floor



S.F.D. | Typical Stub Alley Cluster Plans (Along Retail)
MISSION FOOTHILLS



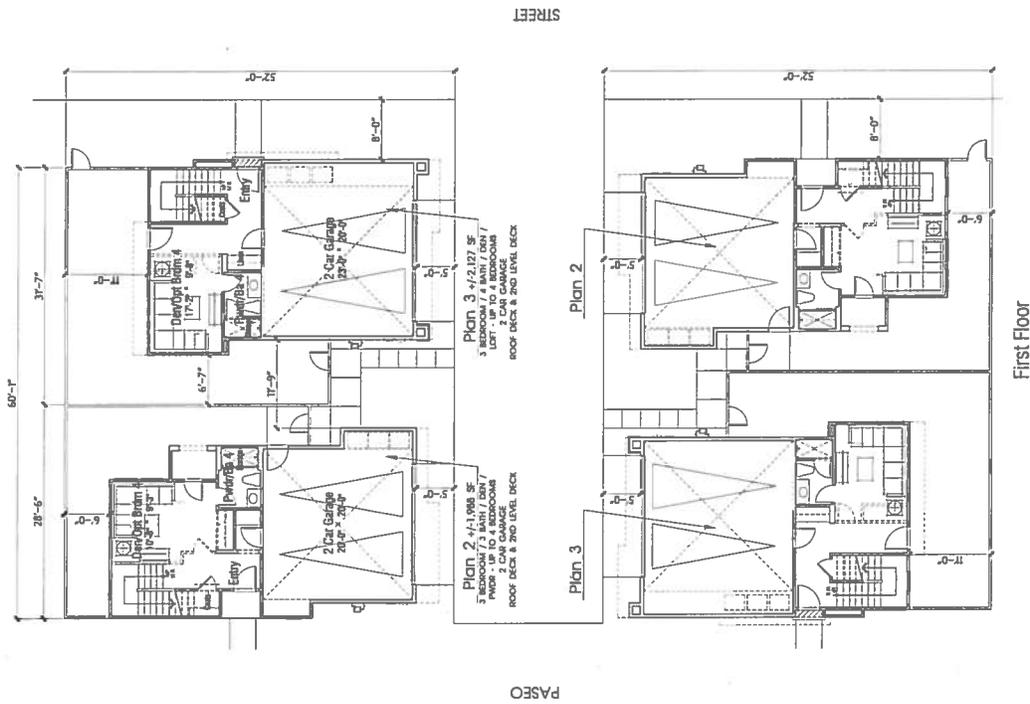
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MISSION VIEJO, CA

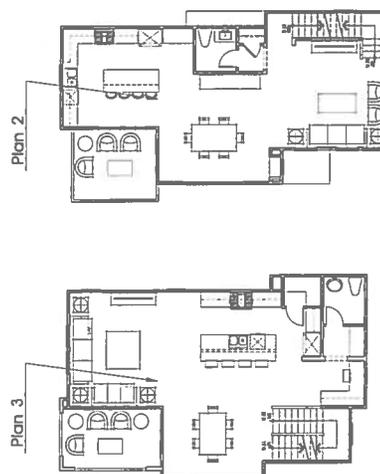
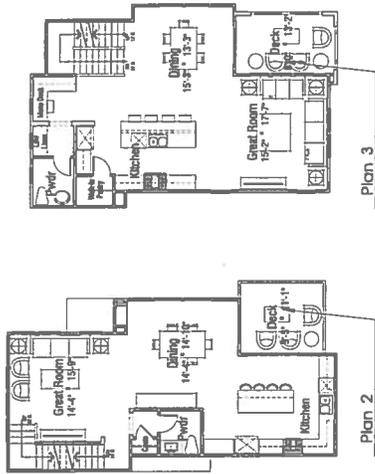
A2.4

2017361 | 04-17-19





First Floor



Second Floor

S.F.D. | Typical Stub Alley Cluster Plans (Along Paseo)
MISSION FOOTHILLS



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A2.5

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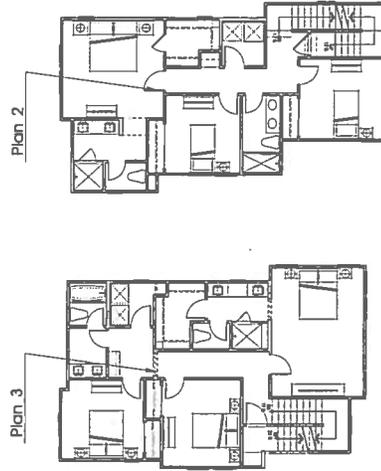


CHANDLER COUNTY, ILLINOIS, USA



Roof Plan

Third Floor



S.F.D. | Typical Stub Alley Cluster Plans (Along Paseo)

MISSION FOOTHILLS

MISSION VIEJO, CA



A2.6
2017/01 | 04-17-19



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Plan 1 - Tuscan Inspired
(Color Scheme 1 Shown. Refer to Sheet CM-3.)



Plan 2 - Tuscan Inspired
(Color Scheme 2 Shown. Refer to Sheet CM-3.)



Plan 3 - Tuscan Inspired
(Color Scheme 3 Shown. Refer to Sheet CM-3.)

Note:

1. Artist's conception; colors, materials and application may vary.
2. Refer to landscape plans for plant materials and layout.



Plan 1 - Spanish Inspired
(Color Scheme 4 Shown. Refer to Sheet CM-4.)

Refer to Landscape Plans for Entry Arbor Detail. Arbor locations vary. Refer to Typical Cluster Plans.



Plan 2 - Spanish Inspired
(Color Scheme 5 Shown. Refer to Sheet CM-5.)



Plan 3 - Spanish Inspired
(Color Scheme 6 Shown. Refer to Sheet CM-5.)



Plan 1 - Farmhouse Inspired
(Color Scheme 7 Shown. Refer to Sheet CM-6.)

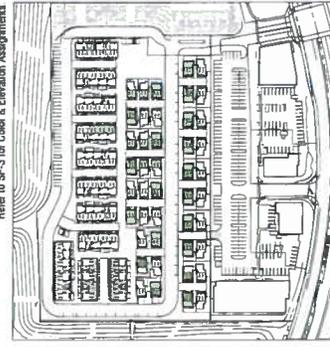
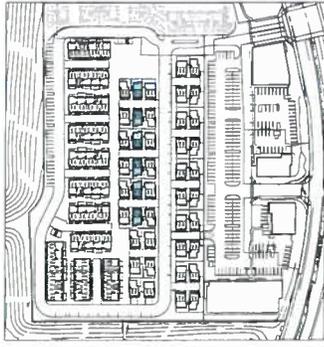


Plan 2 - Farmhouse Inspired
(Color Scheme 8 Shown. Refer to Sheet CM-6.)

Gate locations vary. Refer to Landscape Wall and Fence Plan.



Plan 3 - Farmhouse Inspired
(Color Scheme 9 Shown. Refer to Sheet CM-7.)





Plan 2 - Tuscan Inspired Side Yard Elevation
Retail Facing (Color Scheme 1 Shown. Refer to Sheet CM-3)



Plan 2 - Tuscan Inspired Enhanced Front Entry Elevation
Passo/Street Facing (Color Scheme 2 Shown. Refer to Sheet CM-3)



Plan 3 - Tuscan Inspired Enhanced Front Entry Elevation
Passo/Street Facing (Color Scheme 3 Shown. Refer to Sheet CM-4)



Plan 2 - Spanish Inspired Side Yard Elevation
Retail Facing (Color Scheme 4 Shown. Refer to Sheet CM-4)



Plan 2 - Spanish Inspired Enhanced Front Entry Elevation
Passo/Street Facing (Color Scheme 5 Shown. Refer to Sheet CM-5)



Plan 3 - Spanish Inspired Enhanced Front Entry Elevation
Passo/Street Facing (Color Scheme 6 Shown. Refer to Sheet CM-5)



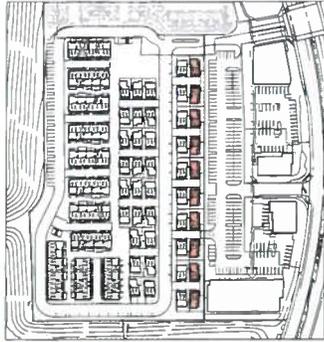
Plan 2 - Spanish Inspired Side Yard Elevation
Retail Facing (Color Scheme 7 Shown. Refer to Sheet CM-6)



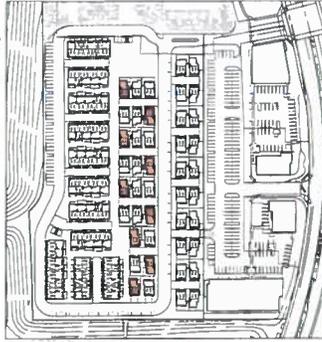
Plan 2 - Farmhouse Inspired Enhanced Front Entry Elevation
Passo/Street Facing (Color Scheme 8 Shown. Refer to Sheet CM-6)



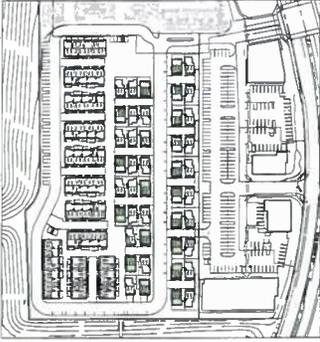
Plan 3 - Farmhouse Inspired Enhanced Front Entry Elevation
Passo/Street Facing (Color Scheme 9 Shown. Refer to Sheet CM-7)



Key Map N.T.S.
Refer to SP-3 for Color & Elevation Assignments.



Key Map N.T.S.
Refer to SP-3 for Color & Elevation Assignments.



Key Map N.T.S.
Refer to SP-3 for Color & Elevation Assignments.

Note:
1. Artist's conception; colors, materials and application may vary.
2. Refer to landscape plans for plant materials and layout.



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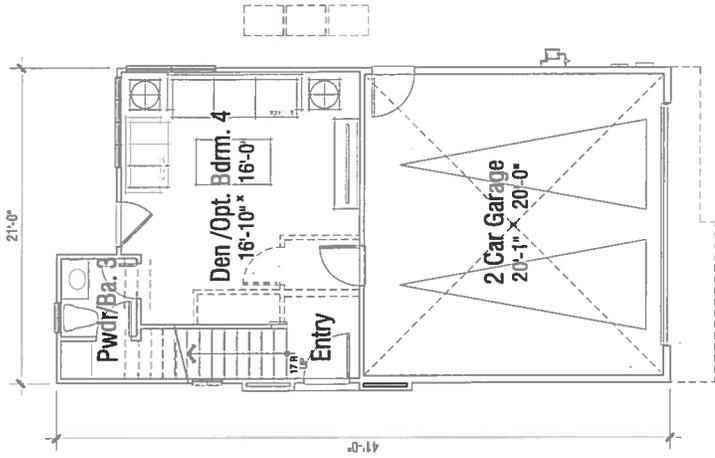
S.F.D. | Exposed Side Elevations
MISSION FOOTHILLS

MISSION VIEJO, CA

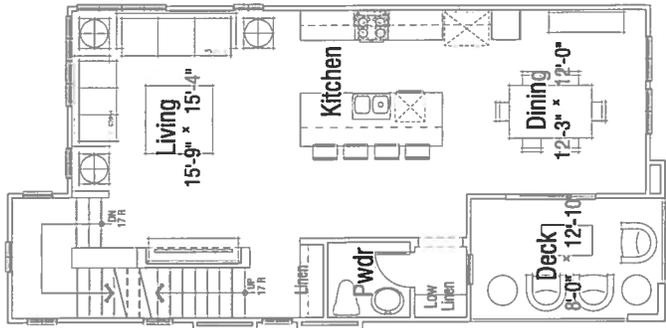
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2017361 | 04-17-19

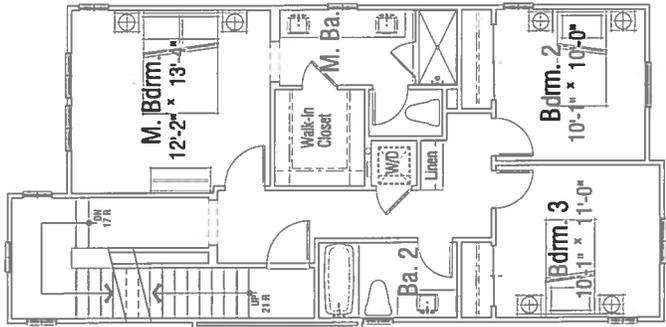




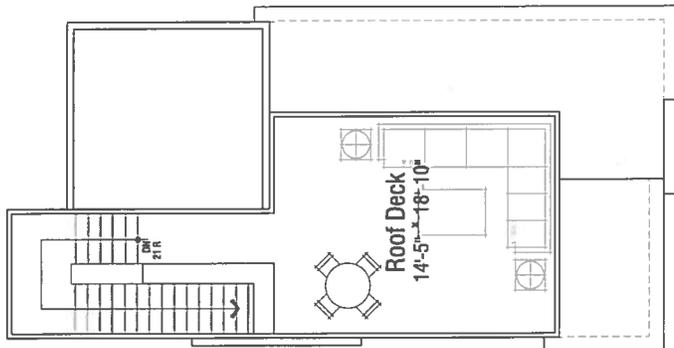
First Floor



Second Floor



Third Floor



Roof Deck

+/- 1,898 S.F.
3 Bd / 3 Ba / Den / Opt. Bd 4 /
Roof Deck

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D
NOTE: SQUARE FOOTAGE MAY VARY DUE TO
METHOD OF CALCULATION

ARCHITECTS: PLANNERS + DESIGNERS



ORANGE COUNTY, LOS ANGELES, INVA AREA

A2.9

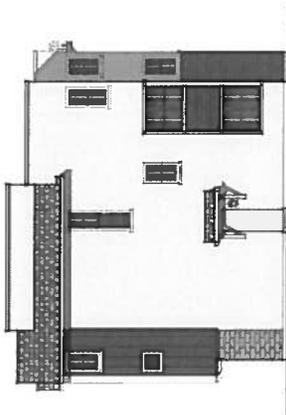
0 2 4
2017361 | 04-17-19

S.F.D. | Plan 1 Floor Plans
MISSION FOOTHILLS

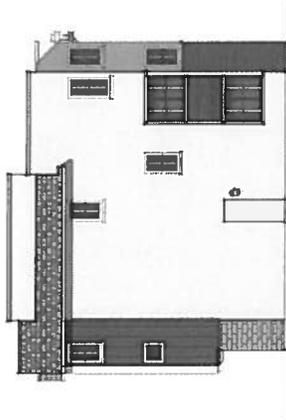
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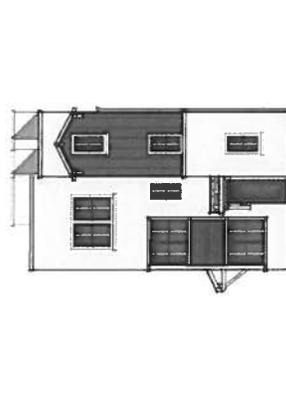
Side Yard Enhanced Elevation
(@ Visible Locations)



Side Yard Elevation
(@ Interior Side Conditions)

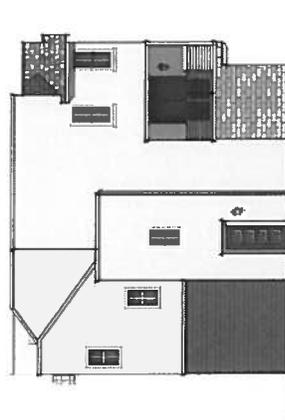


Rear Yard Elevation
(@ Interior Rear Conditions)



Rear Yard Enhanced Elevation
(@ Visible Locations)

Note: Artist's conception; colors, materials and application may vary.

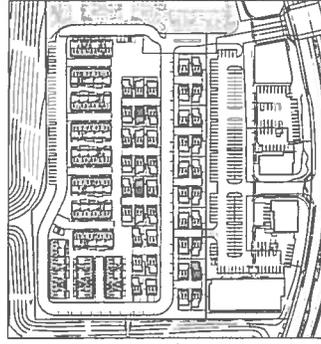


Front Street Entry Elevation



Front Alley Elevation
(Color Scheme 6 Shown, Refer to Sheet CM-5.)

Refer to Landscape Plans for Entry Arbor Details.
Arbor locations vary. Refer to typical Cluster Plans.



Key Map N.T.S.
Refer to SP-3 for Color Assignments.

BUILDING MATERIAL: FARMHOUSE INSPIRED

- Roof: Flat Roof with Parapet; Flat Concrete Tile
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Awning: Decorative Awning; Flat Concrete Tile Roof with Wood Brackets
- Entry Door: Decorative Front Entry Door
- Accents: Stone Veneer, Board and Batt, Shutters
- Garage Door: Sectional Garage Doors

Farmhouse Inspired Elevations

S.F.D. | Plan 1 Elevations
MISSION FOOTHILLS



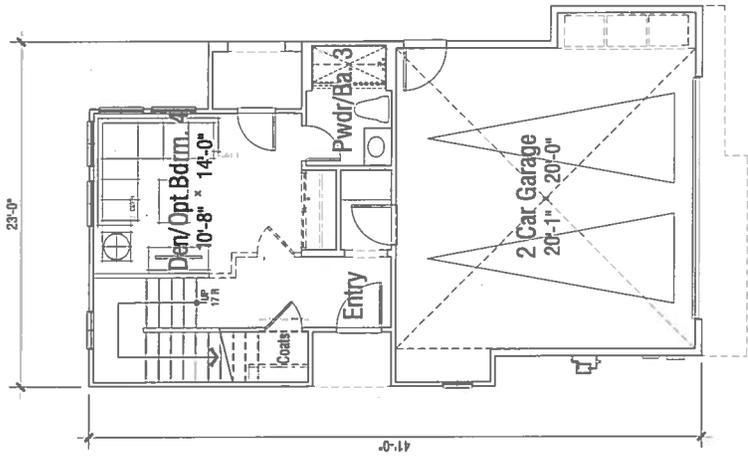
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MISSION VIEJO, CA

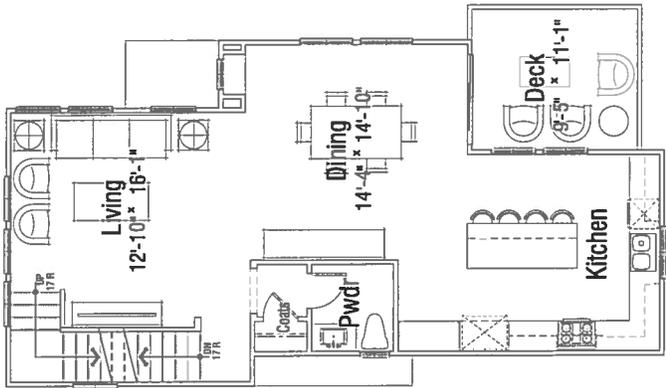
A2.10

2017361 | 05-01-19

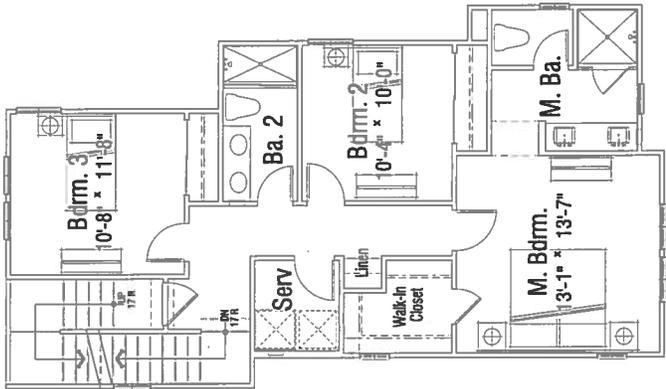




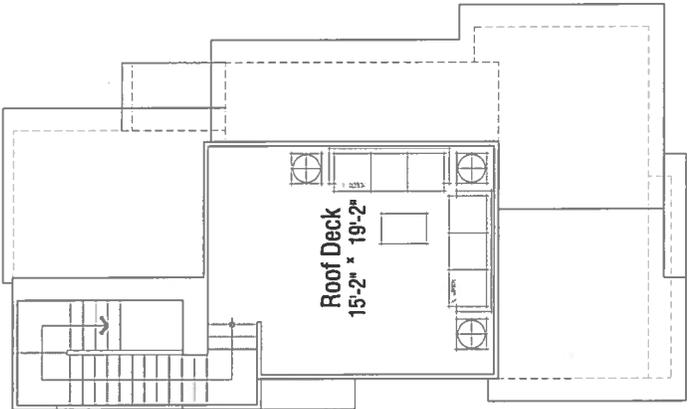
First Floor



Second Floor



Third Floor



Roof Deck

+/- 1,988 S.F.
3 Bd / 3 Ba / Den / Opt. Bd 4 /
Roof Deck

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D
NOTE: SQUARE FOOTAGE MAY VARY DUE TO
METHOD OF CALCULATION



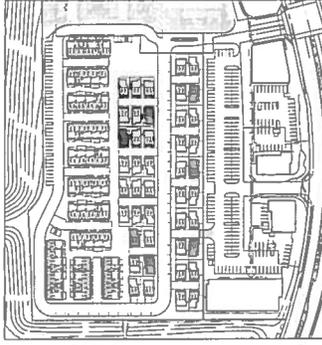
A2.11
2017361 | 04-17-19

S.F.D. | Plan 2 Floor Plans
MISSION FOOTHILLS

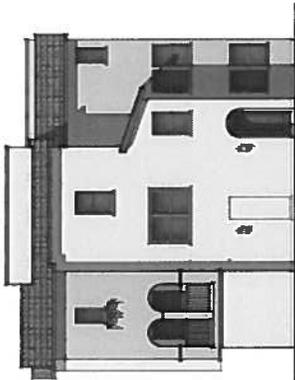
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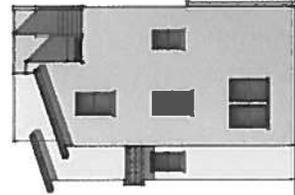


Key Area N.T.S.
Refer to SP-3 for Color Assignments.

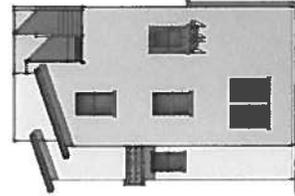


Side Yard Elevation
(@ Interior Side Conditions)

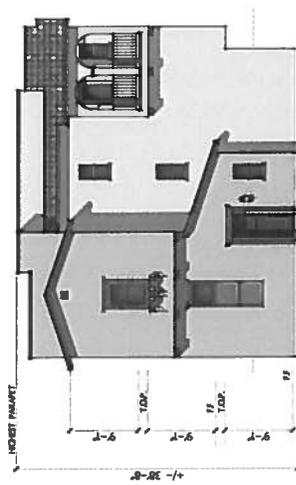
Note: Artist's conception; colors, materials and application may vary.
Finished grade varies per civil.



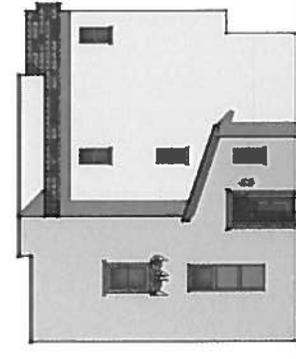
Rear Yard Elevation
(@ Interior Side Conditions)



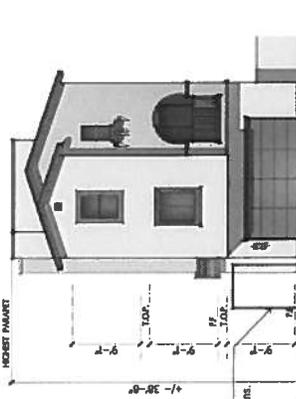
Rear Yard Enhanced Elevation



Typical Front Entry Elevation
(@ Street)



Front Entry Elevation
(@ Interior Side Conditions)



Alley Elevation
(Color Scheme 5 Shown. Refer to Sheet CM-5)

Refer to Landscape Plans for Entry Arbor Detail. Arbor locations vary. Refer to Typical Cluster Plans.

BUILDING MATERIAL: SPANISH INSPIRED

- Roof: Flat Roof with Parapet, S-tile Roof
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Decorative Front Entry Door: Decorative Tile Surround; Gable Vent Tile, Corbels, Pot Shelves
- Garage Door: Sectional Garage Doors

Spanish Inspired Elevations

**S.F.D. | Plan 2 Elevations
MISSION FOOTHILLS**

MISSION VIEJO, CA



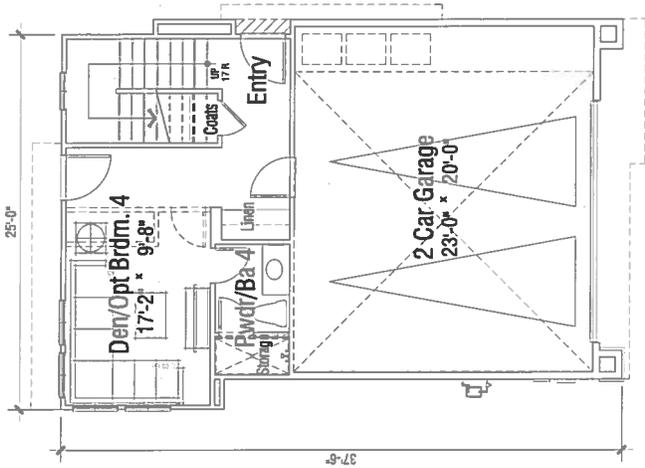
ARCHITECTS • PLANNERS • DESIGNERS
ORANGE COUNTY, LOS ANGELES, IRVINE AREA

A2.12

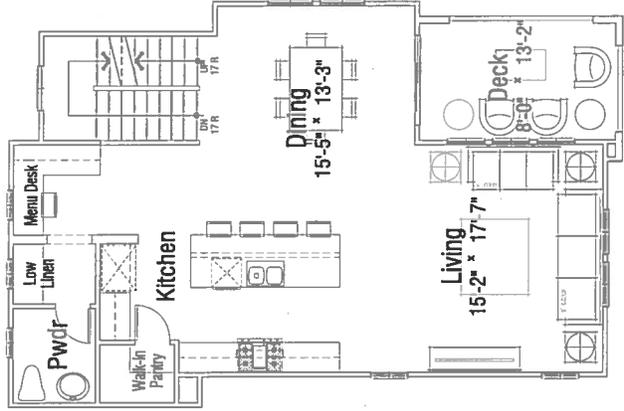
2017081 | 04-17-19



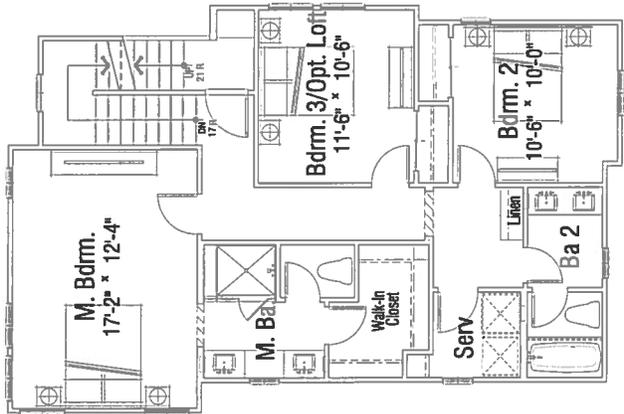
© 2018 WILLIAM HEZMUEHL ARCHITECTS, INC. DBA WHA



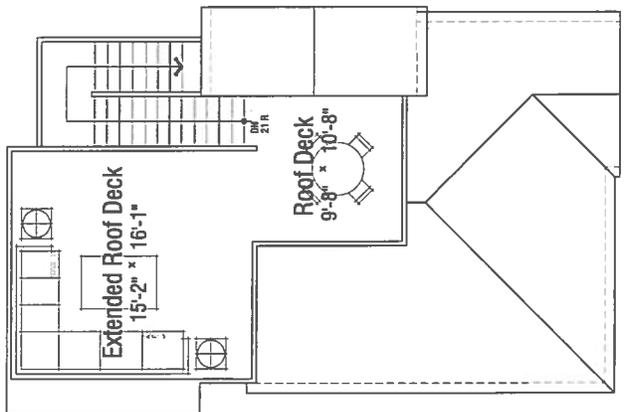
First Floor



Second Floor



Third Floor



Roof Deck

+/- 2,127 S.F.
3 Bd / 4 Ba / Den / Opt. Bd 4 /
Loft / Roof Deck

OCCUPANCY: R3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: 13D
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ARCHITECT: WILLIAM HEZMAHLACH ARCHITECTS, INC. DBA WHA



CHANDLER COUNTY - LOS ANGELES, DMV AREA

A2.13

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S.F.D. | Plan 3 Floor Plans
MISSION FOOTHILLS

MISSION VIEJO, CA



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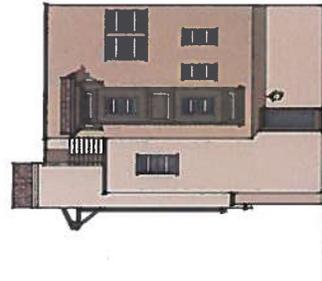


Front Entry Elevation

Note: Artist's conception; colors, materials and application may vary.
Finished grade varies per civil.



Rear Interior Yard Elevation



Rear Yard Enhanced Elevation



Interior Side Elevation



Alley Elevation
(Color Scheme 3 Shown; Refer to Sheet CH-4)



Key Map M.T.S.
Refer to SP-3 for Color Assignments

BUILDING MATERIAL: TUSCAN INSPIRED

- Roof: Flat Roof with Parapet; S-tile Roof
- Exterior: Stucco Finish
- Accent Windows: Stucco over Foam Trim with Accent Color
- Deck Accents: Metal Railing
- Window & Door Trim: Vinyl
- Awning: Decorative Metal Awning; S-tile Roof with Wood Brackets
- Entry Door: Decorative Front Entry Door
- Entry Accents: Stone Veneer
- Garage Door: Sectional Garage Doors

Tuscan Inspired Elevations

S.F.D. | Plan 3 Elevations

MISSION FOOTHILLS

MISSION VIEJO, CA

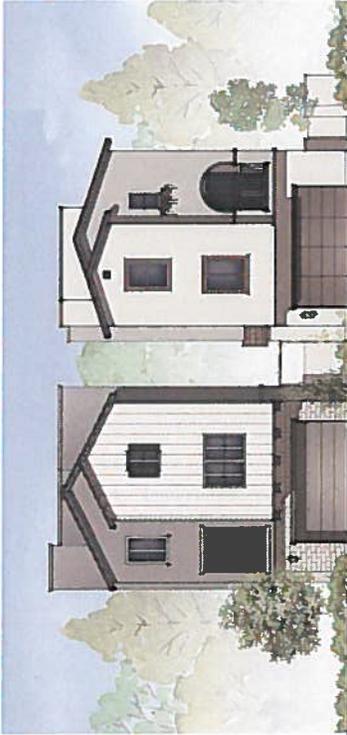


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2017/05 | 04-17-19



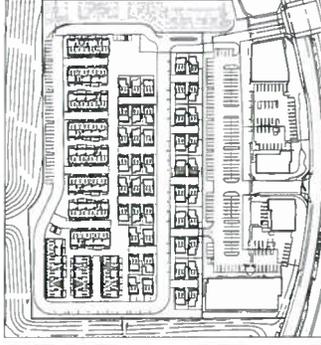


Plan 3 - Farmhouse Inspired

Color Scheme 9 Shown. Refer to Sheet CM-7.

Plan 2 - Spanish Inspired

Color Scheme 5 Shown. Refer to Sheet CM-5.



Key Map R1.T5
Refer to SP-3 for Color Assignments



Plan 2 - Tuscan Inspired

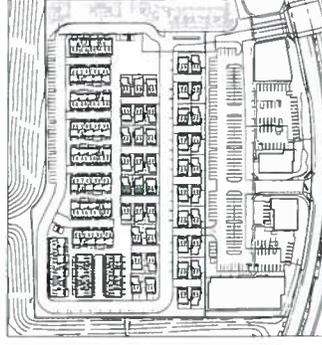
Color Scheme 2 Shown. Refer to Sheet CM-3.

Plan 1 - Farmhouse Inspired

Color Scheme 7 Shown. Refer to Sheet CM-6.

Plan 3 - Spanish Inspired

Color Scheme 6 Shown. Refer to Sheet CM-5.



Key Map R1.T5
Refer to SP-3 for Color Assignments

Note:
1. Artist's conception; colors, materials and application may vary.
2. Refer to landscape plans for plant materials and layout.



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S.F.D. | Conceptual Alley Elevation MISSION FOOTHILLS

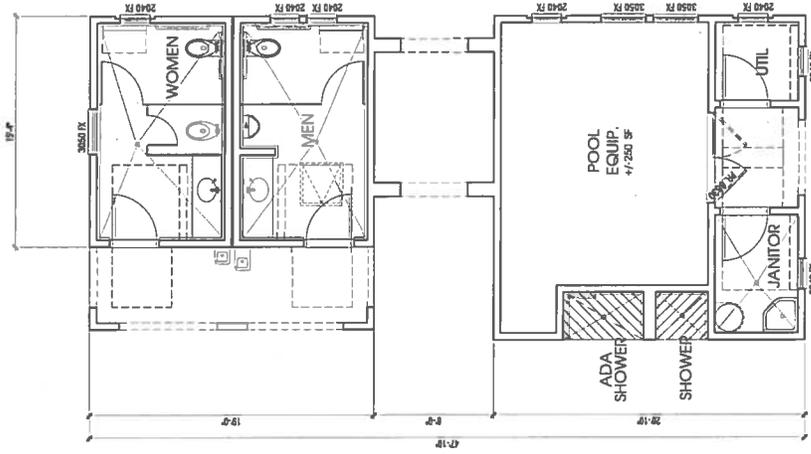
MISSION VIEJO, CA

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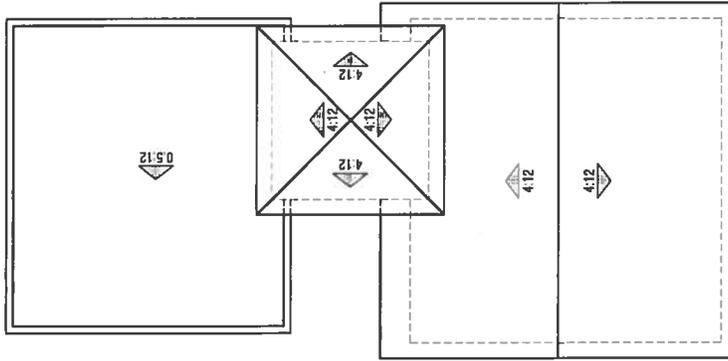


2017361 | 04-17-19





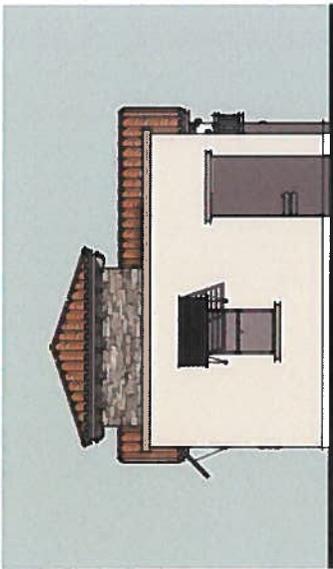
FLOOR PLAN
+/-679 SF



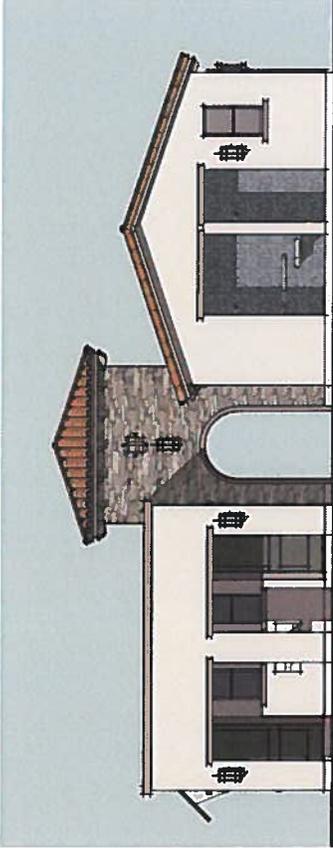
ROOF

POOL RESTROOM BUILDING | FLOOR PLAN
 MISSION FOOTHILLS

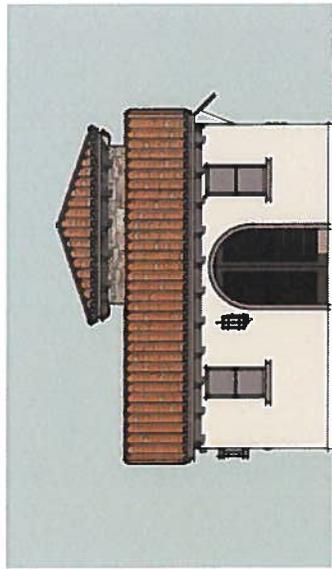
MISSION VIEJO, CA



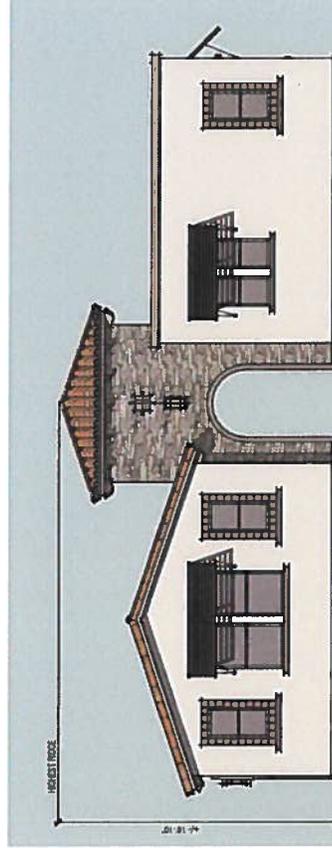
Right Elevation



Rear Elevation



Left Elevation



Front Elevation

Note: Artist's conception; colors, materials and application may vary. Finished grade varies per civil.



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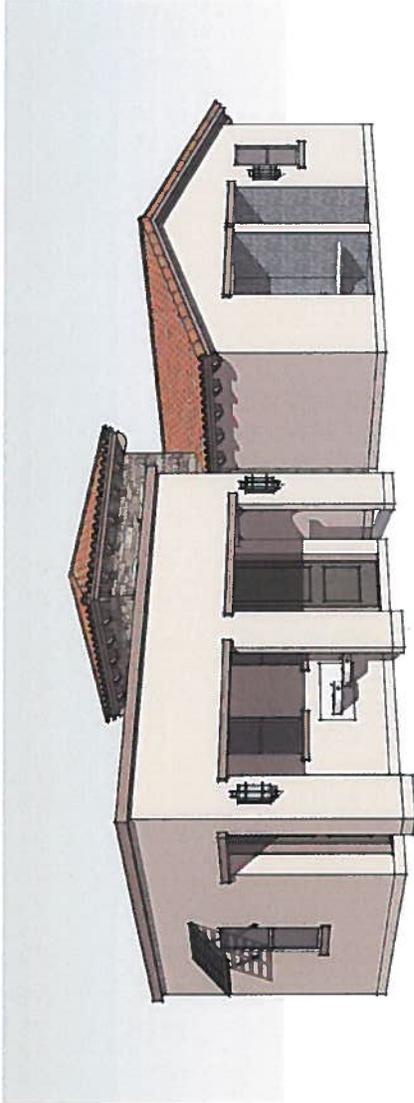
POOL RESTROOM BUILDING | ELEVATIONS MISSION FOOTHILLS

MISSION VIEJO, CA

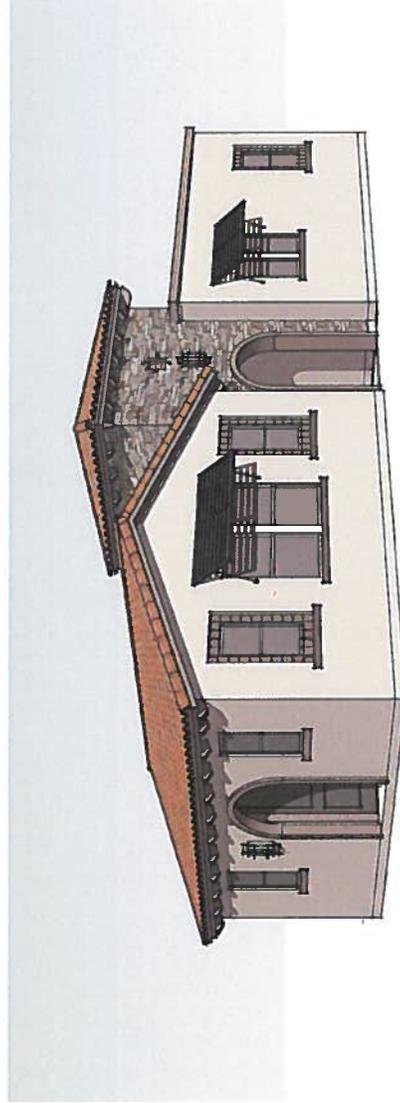
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2017.81 | 04-17-19





Perspective From Pool



Perspective From Entry

Note: Artist's conception; colors, materials
and application may vary.
Finished grade varies per civil.



POOL RESTROOM BUILDING | PERSPECTIVES
MISSION FOOTHILLS

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A2.18

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MISSION FOOTHILLS
Mission Viejo, California
SHEA HOMES
September 14, 2018 | 2018022

Exterior Color & Materials
SCHEME 4 OF 9

SPANISH ELEVATIONS ONLY

Item	Material	Color	Manufacturer
Roofing	3030 Pondicherry Blend (Factory Finish)	Light	Logan
Stucco Color #1	Stucco	Light	Logan
Stucco Color #2	Stucco	Light	Logan
Garage Door	Very Woodgrain (Factory Finish)	Dark or Almond	TBD
Front Doors	Very Woodgrain (Factory Finish)	Dark or Almond	TBD
Metal Railings	Decorative Metal	SW 7000	Sherrin Williams
Decorative Tile	Decorative Tile	SW 300-C (Thompson)	ATB

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Mission Viejo, California
SHEA HOMES
September 14, 2018 | 2018022

Exterior Color & Materials
SCHEME 3 OF 9

TUSCANY ELEVATIONS ONLY

Item	Material	Color	Manufacturer
Roofing	3030 Pondicherry Blend (Factory Finish)	Light	Logan
Stucco Color #1	Stucco	Light	Logan
Stucco Color #2	Stucco	Light	Logan
Garage Door	Very Woodgrain (Factory Finish)	Dark or Almond	TBD
Front Doors	Very Woodgrain (Factory Finish)	Dark or Almond	TBD
Metal Railings	Decorative Metal	SW 7000	Sherrin Williams
Stone	Stone	SW 7000	Sherrin Williams

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Mission Viejo, California
SHEA HOMES
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Exterior Color & Materials
SCHEME 3 OF 9

TUSCANY ELEVATIONS ONLY

Item	Material	Color	Manufacturer
Roofing	3030 Pondicherry Blend (Factory Finish)	Light	Logan
Stucco Color #1	Stucco	Light	Logan
Stucco Color #2	Stucco	Light	Logan
Garage Door	Very Woodgrain (Factory Finish)	Dark or Almond	TBD
Front Doors	Very Woodgrain (Factory Finish)	Dark or Almond	TBD
Metal Railings	Decorative Metal	SW 7000	Sherrin Williams
Stone	Stone	SW 7000	Sherrin Williams

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S.F.D. | Exterior Color and Materials
MISSION FOOTHILLS



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Mission Viejo, California
SHEA HOMES
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Exterior Color & Materials
SCHEME 6 OF 9

Item	Material	Color	Spanish Elevations Only	Material #2
Roofing	Metl Roof @ 3" T&A (Factory Finish)	SAC 8424 S&S Builders Shale	Light	Light
Fascia	Very Widevine (Factory Finish)	Interlocks	TEB	TEB
Stucco #1	Stucco #1 (11/22 Joint Finish)	TEB	TEB	TEB
Stucco Color #2	Stucco Color #2	S&S 020 S&S 013 S&S 012	Orange	Sherryn Williams
Trim Color (Applied to: Garage Door, Front Door, Shutters)	Trim Color (Applied to: Garage Door, Front Door, Shutters)	SW 9009 SW 9009 SW 9009	Sherryn Williams	Sherryn Williams
Decorative Metal	Decorative Metal	SW 9027 SW 9027 SW 9027	Sherryn Williams	Sherryn Williams
8" x 8" Decorative Tile (Factory Finish)	8" x 8" Decorative Tile (Factory Finish)	SD 10A 9	ATD (Thompson Building Materials)	ATD (Thompson Building Materials)
Garage Door Weatherstrips	Garage Door Weatherstrips	Match Garage Door Color	TEB	TEB

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SCHEME 6
Spanish Elevations Only

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Exterior Color & Materials
SCHEME 5 OF 9

Item	Material	Color	Spanish Elevations Only	Material #2
Roofing	Metl Roof @ 3" T&A (Factory Finish)	SAC 8424 S&S Builders Shale	Light	Light
Fascia	Very Widevine (Factory Finish)	Interlocks	TEB	TEB
Stucco #1	Stucco #1 (11/22 Joint Finish)	TEB	TEB	TEB
Stucco Color #2	Stucco Color #2	1/4 720	Orange	Orange
Trim Color (Applied to: Garage Door, Front Door, Shutters)	Trim Color (Applied to: Garage Door, Front Door, Shutters)	SW 9009 SW 9009 SW 9009	Sherryn Williams	Sherryn Williams
Decorative Metal	Decorative Metal	SW 9028 SW 9028 SW 9028	Sherryn Williams	Sherryn Williams
8" x 8" Decorative Tile (Factory Finish)	8" x 8" Decorative Tile (Factory Finish)	SD 10A C	ATD (Thompson Building Materials)	ATD (Thompson Building Materials)
Garage Door Weatherstrips	Garage Door Weatherstrips	Match Garage Door Color	TEB	TEB

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SCHEME 5
Spanish Elevations Only

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S.F.D. | Exterior Color and Materials
MISSION FOOTHILLS

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WHA
ORANGE COUNTY - LOS ANGELES - DAY AREA

CM-5
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PAGE 7 OF 9

Exterior Color & Materials
SCHEME 8 OF 9

Finishing	Material	Color	FAIRFAX/ELEVATIONS ONLY
Roofing	Concrete Color Tile	4833	Black/Charcoal
Trim	Veryl Windows (Factory Finish)	White	TRD
Garage & Driveway (Factory Finish)		TRD	TRD
Horizontal Siding (1/2" J-Boards)	Marble	CR01	Creative Marble
Vertical Siding	Open Frame		CR02
Stucco (1/2" J-Boards)		1-4 432	Orange
Stucco (1/2" J-Boards)	Concrete Color (1/2" J-Boards)	SW 7018	Sherrin Williams
Corner Siding	Marble		CR01
Front Door	Trim Color #1 (Applied 20)	SW 7027	Sherrin Williams
Front Door	Trim Color #2 (Applied 20)	SW 7003	Sherrin Williams
Garage Door	Applied 20	SW 7001	Sherrin Williams
Accents (Applied 20)	Applied 20	SW 7001	Sherrin Williams
Shutters	Shutters	SW 7000	Sherrin Williams
Decorative Mould	Decorative Mould	SW 7000	Sherrin Williams
Garage Door Weatherstripping (Factory Finish)	Garage Door Weatherstripping	Match Garage Door Color	TRD

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Mission Viejo, California
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PAGE 7 OF 9

Exterior Color & Materials
SCHEME 8 OF 9

FAIRFAX/ELEVATIONS ONLY

Finishing	Material	Color	FAIRFAX/ELEVATIONS ONLY
Roofing	Concrete Color Tile	4833	Black/Charcoal
Trim	Veryl Windows (Factory Finish)	White	TRD
Garage & Driveway (Factory Finish)		TRD	TRD
Horizontal Siding (1/2" J-Boards)	Marble	CR01	Creative Marble
Vertical Siding	Open Frame		CR02
Stucco (1/2" J-Boards)		1-4 432	Orange
Stucco (1/2" J-Boards)	Concrete Color (1/2" J-Boards)	SW 7018	Sherrin Williams
Corner Siding	Marble		CR01
Front Door	Trim Color #1 (Applied 20)	SW 7027	Sherrin Williams
Front Door	Trim Color #2 (Applied 20)	SW 7003	Sherrin Williams
Garage Door	Applied 20	SW 7001	Sherrin Williams
Accents (Applied 20)	Applied 20	SW 7001	Sherrin Williams
Shutters	Shutters	SW 7000	Sherrin Williams
Decorative Mould	Decorative Mould	SW 7000	Sherrin Williams
Garage Door Weatherstripping (Factory Finish)	Garage Door Weatherstripping	Match Garage Door Color	TRD

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Mission Viejo, California
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Exterior Color & Materials
SCHEME 7 OF 9

Finishing	Material	Color	FAIRFAX/ELEVATIONS ONLY
Roofing	Concrete Color Tile	4833	Black/Charcoal
Trim	Veryl Windows (Factory Finish)	White	TRD
Garage & Driveway (Factory Finish)		TRD	TRD
Horizontal Siding (1/2" J-Boards)	Marble	CR01	Creative Marble
Vertical Siding	Open Frame		CR02
Stucco (1/2" J-Boards)		1-4 432	Orange
Stucco (1/2" J-Boards)	Concrete Color (1/2" J-Boards)	SW 7018	Sherrin Williams
Corner Siding	Marble		CR01
Front Door	Trim Color #1 (Applied 20)	SW 7027	Sherrin Williams
Front Door	Trim Color #2 (Applied 20)	SW 7003	Sherrin Williams
Garage Door	Applied 20	SW 7001	Sherrin Williams
Accents (Applied 20)	Applied 20	SW 7001	Sherrin Williams
Shutters	Shutters	SW 7000	Sherrin Williams
Decorative Mould	Decorative Mould	SW 7000	Sherrin Williams
Garage Door Weatherstripping (Factory Finish)	Garage Door Weatherstripping	Match Garage Door Color	TRD

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Exterior Color & Materials
SCHEME 7 OF 9

FAIRFAX/ELEVATIONS ONLY

Finishing	Material	Color	FAIRFAX/ELEVATIONS ONLY
Roofing	Concrete Color Tile	4833	Black/Charcoal
Trim	Veryl Windows (Factory Finish)	White	TRD
Garage & Driveway (Factory Finish)		TRD	TRD
Horizontal Siding (1/2" J-Boards)	Marble	CR01	Creative Marble
Vertical Siding	Open Frame		CR02
Stucco (1/2" J-Boards)		1-4 432	Orange
Stucco (1/2" J-Boards)	Concrete Color (1/2" J-Boards)	SW 7018	Sherrin Williams
Corner Siding	Marble		CR01
Front Door	Trim Color #1 (Applied 20)	SW 7027	Sherrin Williams
Front Door	Trim Color #2 (Applied 20)	SW 7003	Sherrin Williams
Garage Door	Applied 20	SW 7001	Sherrin Williams
Accents (Applied 20)	Applied 20	SW 7001	Sherrin Williams
Shutters	Shutters	SW 7000	Sherrin Williams
Decorative Mould	Decorative Mould	SW 7000	Sherrin Williams
Garage Door Weatherstripping (Factory Finish)	Garage Door Weatherstripping	Match Garage Door Color	TRD

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S.F.D. | Exterior Color and Materials
MISSION FOOTHILLS

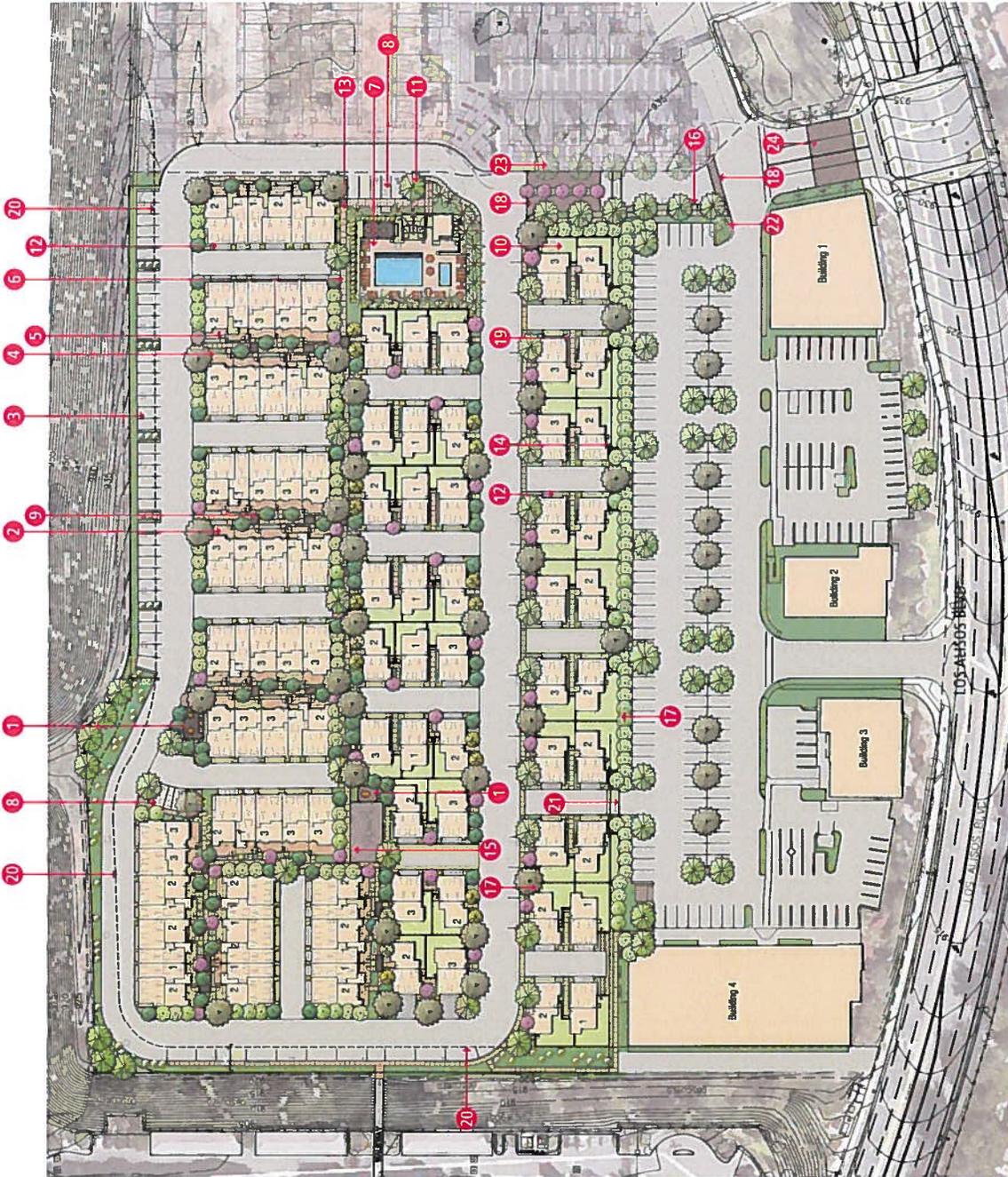
MISSION VIEJO, CA

ARCHITECTS • PLANNERS • DESIGNERS
WHA
ORANGE COUNTY, LOS ANGELES, SAN AREA

CM-6
0 4 8 16
2017.06 | 04-17-19

Shea HOMES[®]

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Note: All landscape areas within the housing community, yet outside private homeowners backyards and patios, to be maintained by HOA.

For Proposed Irrigation for HOA areas, see next page.

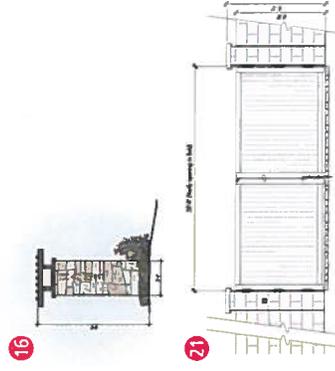
CONCEPTUAL ILLUSTRATIVE SITE PLAN

MISSION FOOTHILLS
MISSION VIEJO, CA



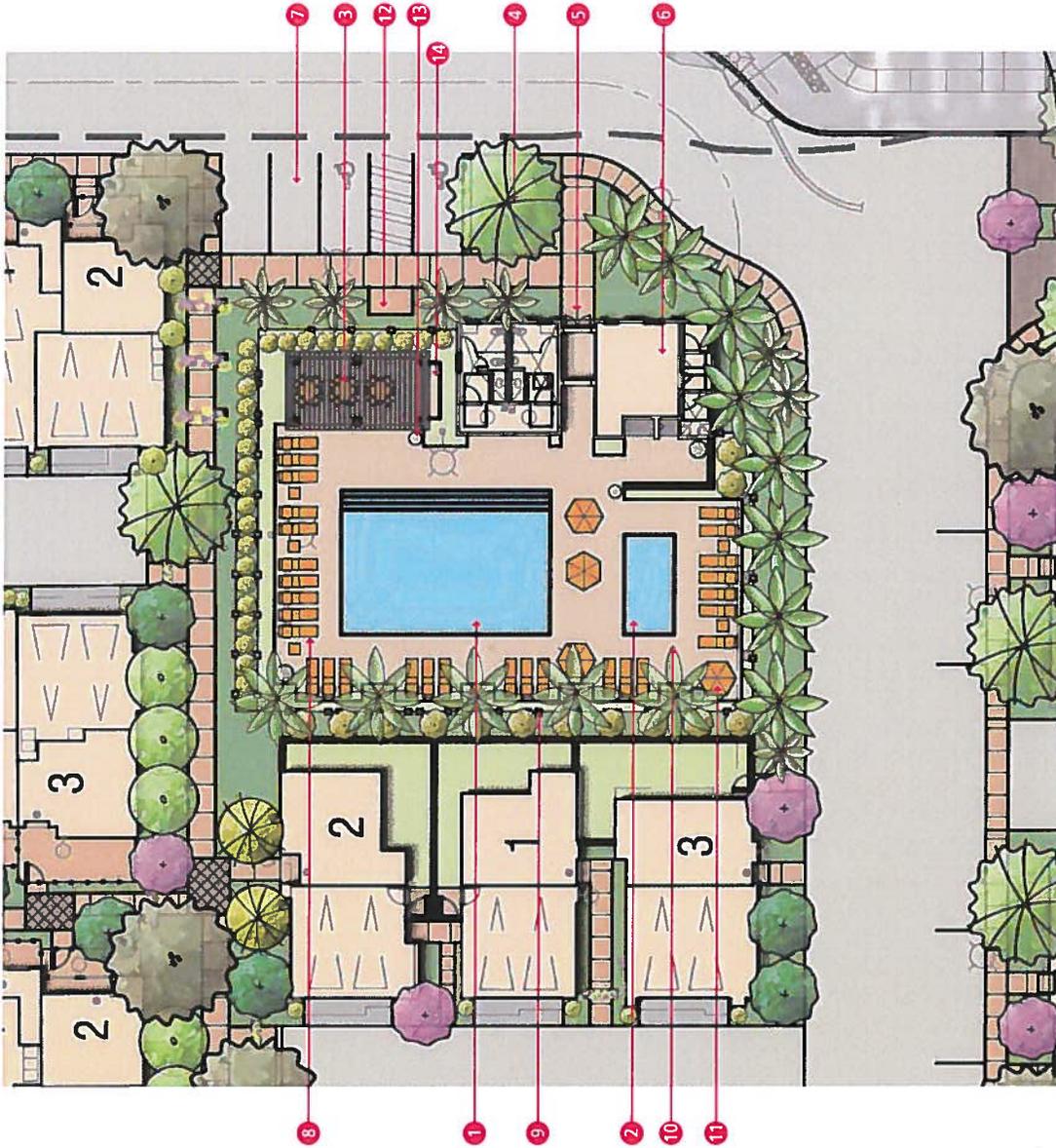
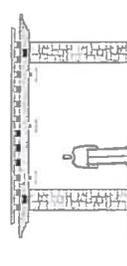
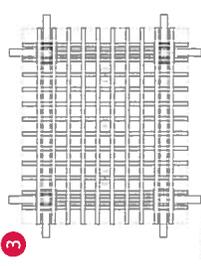
LEGEND

- 1 Picnic and BBQ Area w/ Shade Structure, See Enlargement
- 2 Concrete Patio
- 3 Parking
- 4 Metal Fence (see image)
- 5 Metal Gate to Match Fence
- 6 Concrete Walkway
- 7 Recreation Center, See Enlargement
- 8 ADA Parking
- 9 Accent Concrete Paving
- 10 Private Homeowner Yard
- 11 Accent/Focal Tree
- 12 Concrete Drive Apron
- 13 Entry Trellis w/ Vines (see image)
- 14 Wood Sideyard Gate (see image)
- 15 Tot Lot, See Enlargement
- 16 Entry Monument (see image)
- 17 Privacy Wall w/ Burnished Blocks and Precision Cap
- 18 Enhanced Pavers at Entry and Crosswalk (see image)
- 19 Decorative Trellis w/ Vines (see image)
- 20 20' Wide Storm Drain Easement
- 21 Vinyl Vehicular Access Gate (see image)
- 22 New Retail Signage
- 23 Propose Matching Entry Trees by City Lane
- 24 Existing Enhanced Paving



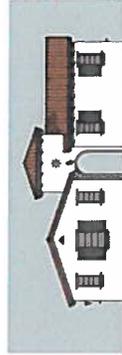
IRRIGATION NOTE:

- The proposed irrigation for the common areas shall consist of:
1. Check Valve: Each check valve will be equipped with a manual flush valve in-line pressure regulator.
 2. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 3. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 4. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 5. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 6. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 7. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 8. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 9. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 10. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 11. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 12. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 13. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.
 14. In-line pressure regulator: Each "dead end" of each drip system will be equipped with basket filters and in-line pressure regulators.



LEGEND

- 1 Pool 26'x38'
- 2 Spa 9'x18'
- 3 Shade Structure with Seating (see image)
- 4 Accent / Focal Tree
- 5 Pool Entrance
- 6 Restroom / Pool Equipment Building
- 7 Parking
- 8 Chaise Lounge Seating
- 9 Pool Fence (see image)
- 10 Pool Deck
- 11 Table and Chairs with Umbrellas
- 12 Bike Racks (2: accommodates 4 bikes)
- 13 Trash Receptacle (3 total)
- 14 BBQ



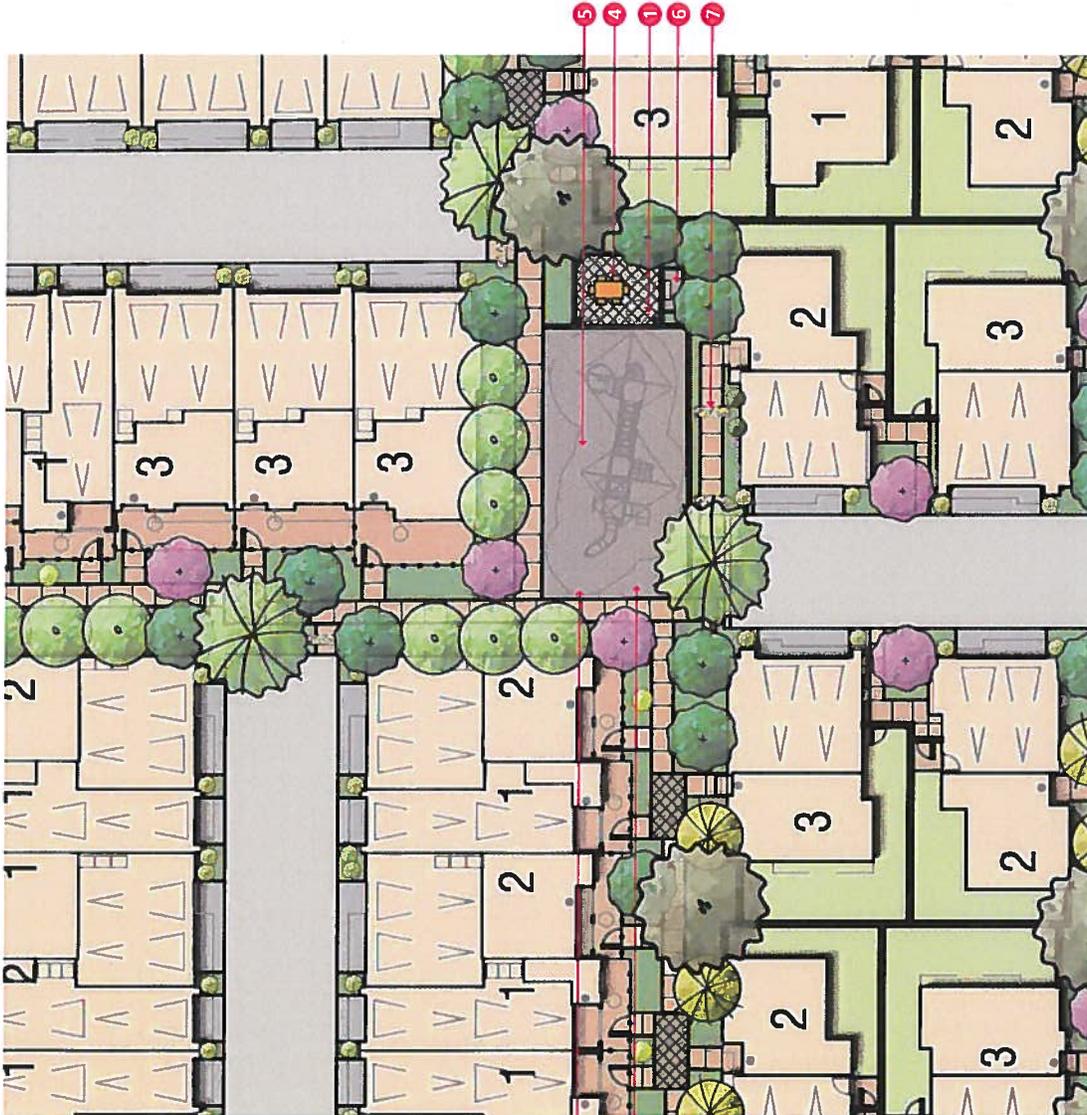
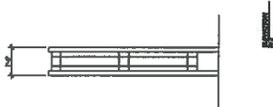
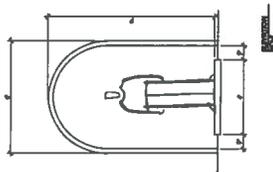
KEY MAP



RECREATION CENTER ENLARGEMENT

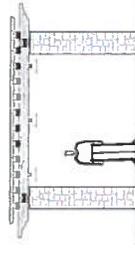
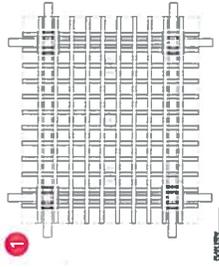
MISSION FOOTHILLS
MISSION VIEJO, CA

7 Decorative Trellis



LEGEND

- 1 Shade Structure (see image)
- 2 Rubberized Surface
- 3 Safe Fall Zone, Clear of Vertical Objects
- 4 Community Seating Area
- 5 Tot Lot Play Structure
- 6 BBQ with Concrete Countertop (see image)
- 7 Decorative Trellis w Vines (see image)



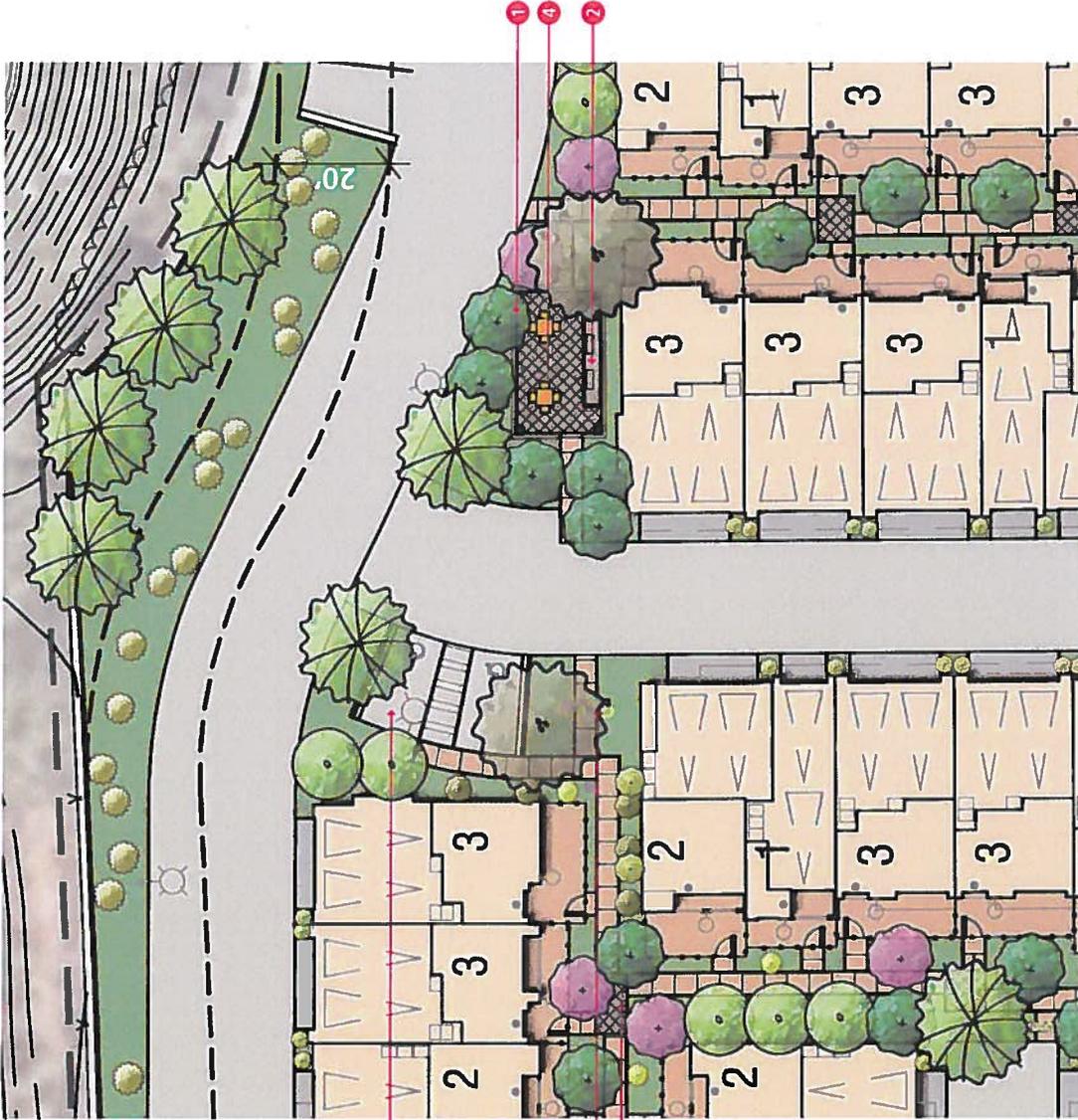
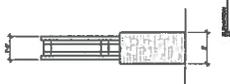
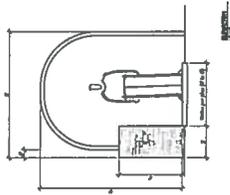
KEY MAP



TOT LOT ENLARGEMENT

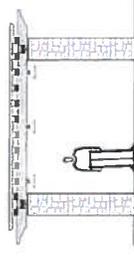
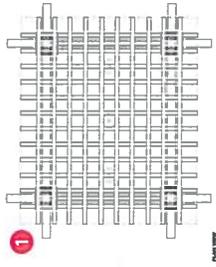
MISSION FOOTHILLS
MISSION VIEJO, CA

5 Entry Trellis



LEGEND

- 1 Shade Structure (see image)
- 2 BBQ with Concrete Counter Top (see image)
- 3 ADA Parking
- 4 Community Seating Area
- 5 Entry Trellis w/ Vines (see image)
- 6 Accent Concrete Paving



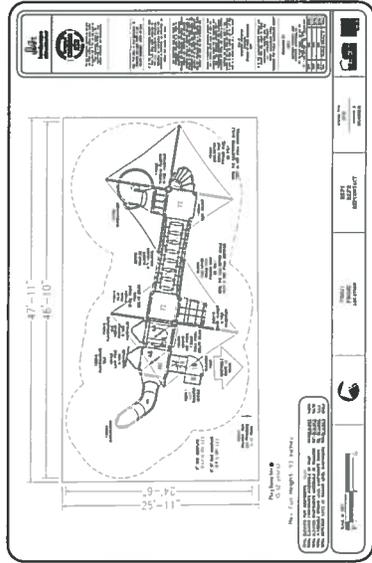
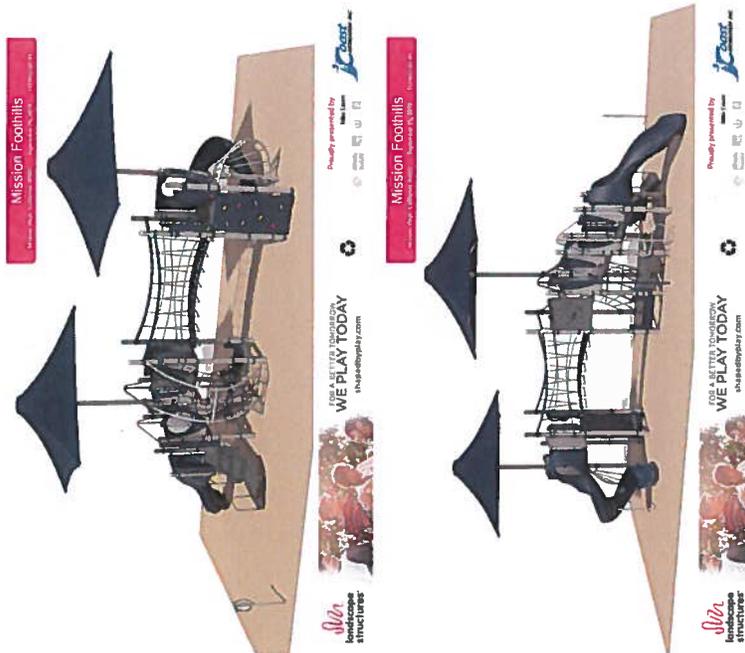
KEY MAP



PICNIC AND BBQ AREA ENLARGEMENT

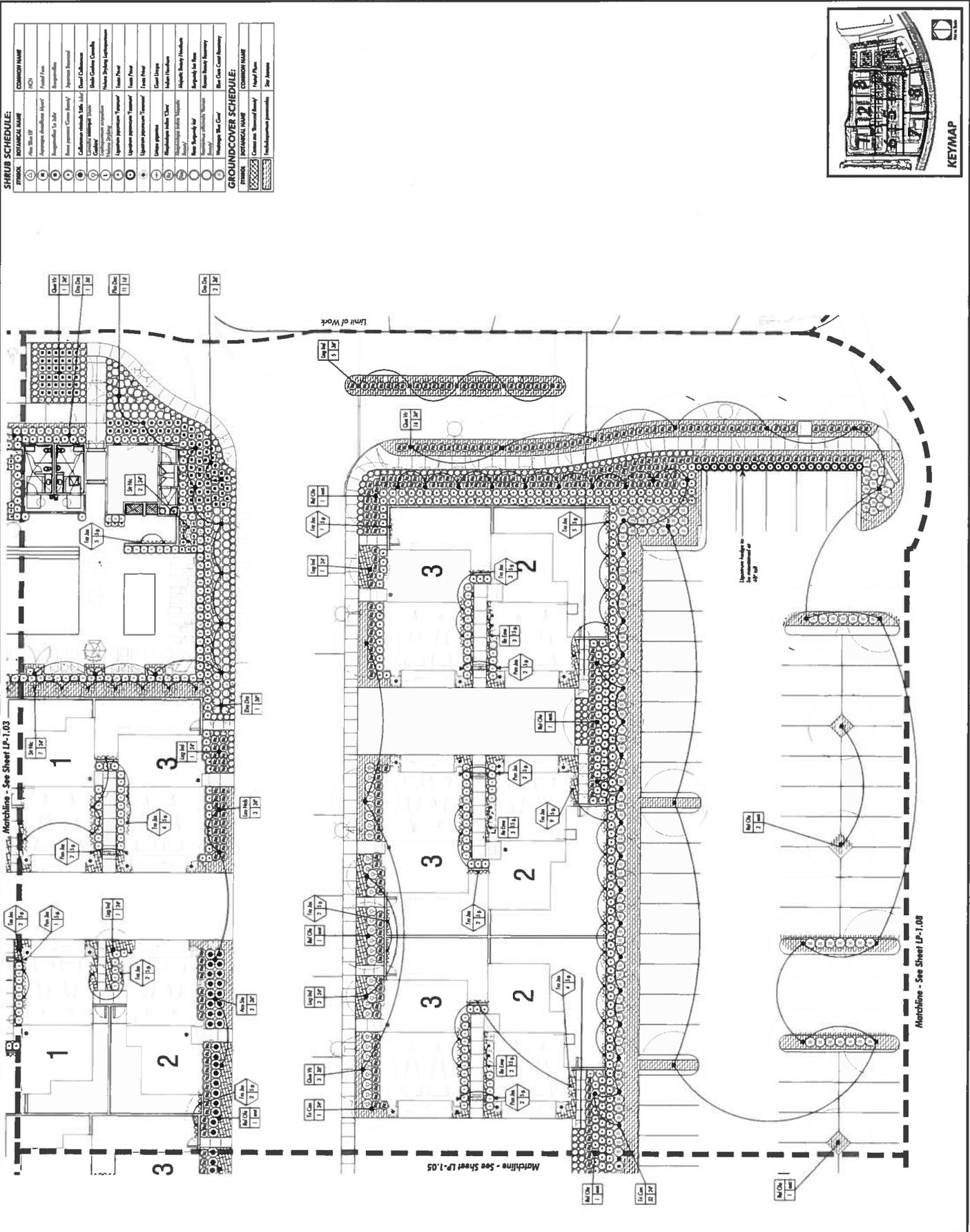
MISSION FOOTHILLS
MISSION VIEJO, CA

TOT LOT PLAY EQUIPMENT



SITE AMENITY CUT SHEETS

MISSION FOOTHILLS
MISSION VIEJO, CA



SHRUB SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
1	Albizia julibrissin	Silk Tree
2	Artemisia tridentata	Artemisia
3	Chamaecrista nuttalliana	Partridge Pea
4	Chamaecrista fasciculata	Partridge Pea
5	Chamaecrista fasciculata	Partridge Pea
6	Chamaecrista fasciculata	Partridge Pea
7	Chamaecrista fasciculata	Partridge Pea
8	Chamaecrista fasciculata	Partridge Pea
9	Chamaecrista fasciculata	Partridge Pea
10	Chamaecrista fasciculata	Partridge Pea
11	Chamaecrista fasciculata	Partridge Pea
12	Chamaecrista fasciculata	Partridge Pea
13	Chamaecrista fasciculata	Partridge Pea
14	Chamaecrista fasciculata	Partridge Pea
15	Chamaecrista fasciculata	Partridge Pea
16	Chamaecrista fasciculata	Partridge Pea
17	Chamaecrista fasciculata	Partridge Pea
18	Chamaecrista fasciculata	Partridge Pea
19	Chamaecrista fasciculata	Partridge Pea
20	Chamaecrista fasciculata	Partridge Pea
21	Chamaecrista fasciculata	Partridge Pea
22	Chamaecrista fasciculata	Partridge Pea
23	Chamaecrista fasciculata	Partridge Pea
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25	Chamaecrista fasciculata	Partridge Pea
26	Chamaecrista fasciculata	Partridge Pea
27	Chamaecrista fasciculata	Partridge Pea
28	Chamaecrista fasciculata	Partridge Pea
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33	Chamaecrista fasciculata	Partridge Pea
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43	Chamaecrista fasciculata	Partridge Pea
44	Chamaecrista fasciculata	Partridge Pea
45	Chamaecrista fasciculata	Partridge Pea
46	Chamaecrista fasciculata	Partridge Pea
47	Chamaecrista fasciculata	Partridge Pea
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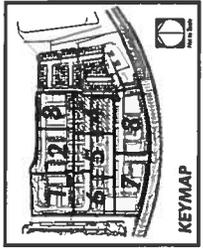
GROUNDCOVER SCHEDULE:

SYMBOL	BOTANICAL NAME	COMMON NAME
1	Chamaecrista fasciculata	Partridge Pea
2	Chamaecrista fasciculata	Partridge Pea
3	Chamaecrista fasciculata	Partridge Pea
4	Chamaecrista fasciculata	Partridge Pea
5	Chamaecrista fasciculata	Partridge Pea
6	Chamaecrista fasciculata	Partridge Pea
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18	Chamaecrista fasciculata	Partridge Pea
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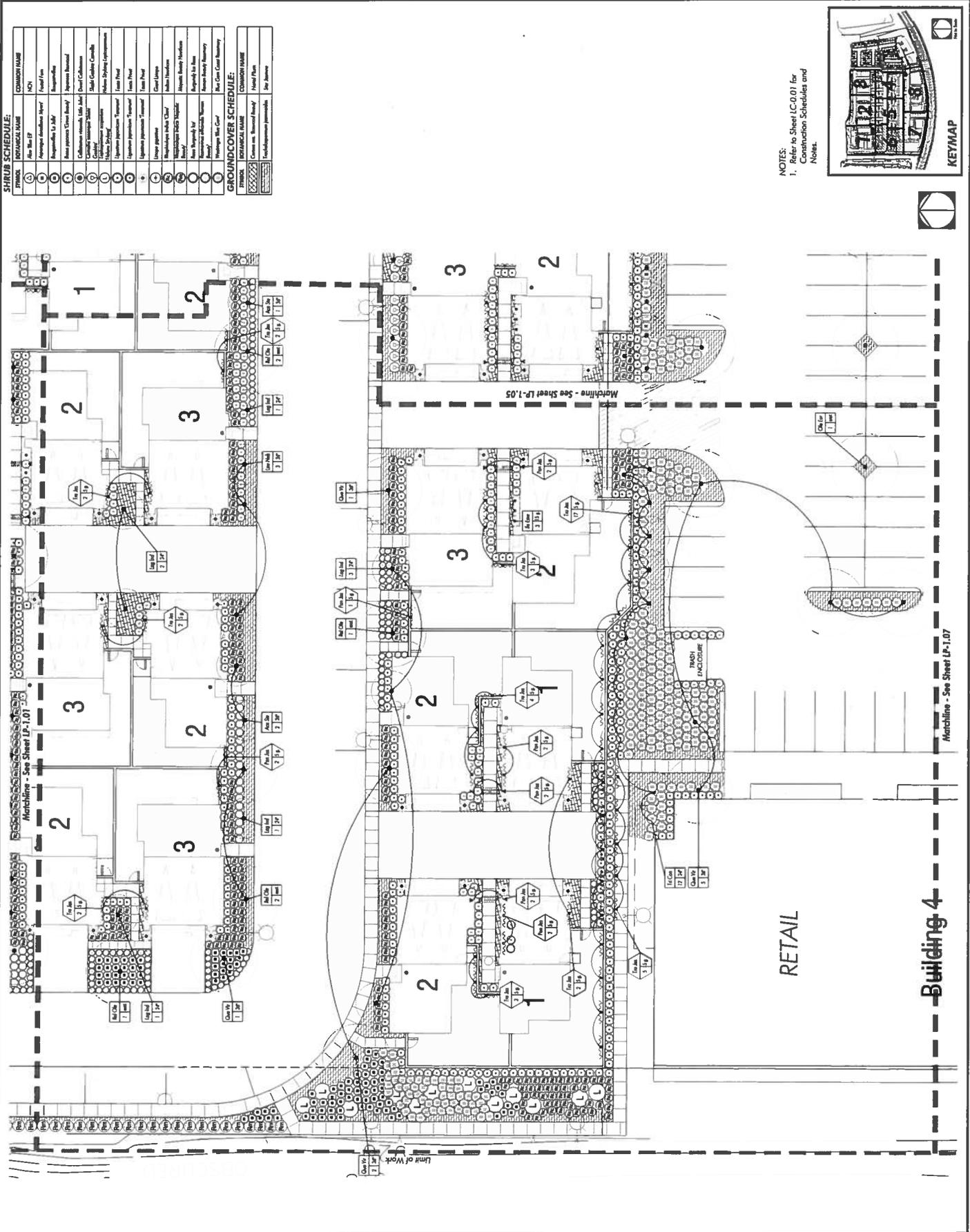
Mission Foothills
Mission Viejo, CA
Shea



SHRUB: City 4th Submittal (05-06-2019) NOT FOR CONSTRUCTION
 PLANTING PLAN
 LP-1.04
 Sheet No. 105 of 179
 Date: 05/06/2019
 Designer: [Name]
 Checker: [Name]
 Project: [Name]



Date: 05/06/2019 11:28 AM V:\2019\05 Mission Foothills\2019\05-06-2019.dwg
 Plot by: [Name]



SHRUB SCHEDULE:

SYMBOL	SYMBOLICAL NAME	COMMON NAME
1	Abies Fir	NOI
2	Artemisia tridentata	Foothill Sage
3	Artemisia tridentata	Artemisia
4	Artemisia tridentata	Artemisia
5	Artemisia tridentata	Artemisia
6	Artemisia tridentata	Artemisia
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17	Artemisia tridentata	Artemisia
18	Artemisia tridentata	Artemisia
19	Artemisia tridentata	Artemisia
20	Artemisia tridentata	Artemisia

GROUND COVER SCHEDULE:

SYMBOL	SYMBOLICAL NAME	COMMON NAME
1	Artemisia tridentata	Foothill Sage
2	Artemisia tridentata	Artemisia
3	Artemisia tridentata	Artemisia
4	Artemisia tridentata	Artemisia
5	Artemisia tridentata	Artemisia
6	Artemisia tridentata	Artemisia
7	Artemisia tridentata	Artemisia
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9	Artemisia tridentata	Artemisia
10	Artemisia tridentata	Artemisia
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18	Artemisia tridentata	Artemisia
19	Artemisia tridentata	Artemisia
20	Artemisia tridentata	Artemisia

Mission Footfalls
Mission Viejo, CA
Shea



Sheet No. **LP-1.06**
 PROJECT: Mission Footfalls
 DATE: 05-06-2019
 NOT FOR CONSTRUCTION

PLANTING PLAN

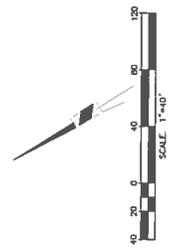
Notes:
 1. Refer to Sheet LC-0.01 for Construction Schedules and Notes.

KEYMAP

PROJECT NO	MISSION FOOTHILLS
SHEET	TENTATIVE TRACT MAP 18187
	CITY OF MISSION VIEJO
2 of 5	

PROACTIVE
 ENGINEERING CONSULTANTS
 27042 Towne Centre Drive, Suite 110
 Foothill Ranch, CA 92610 (949) 716-7460

DATE: 05/01/2019



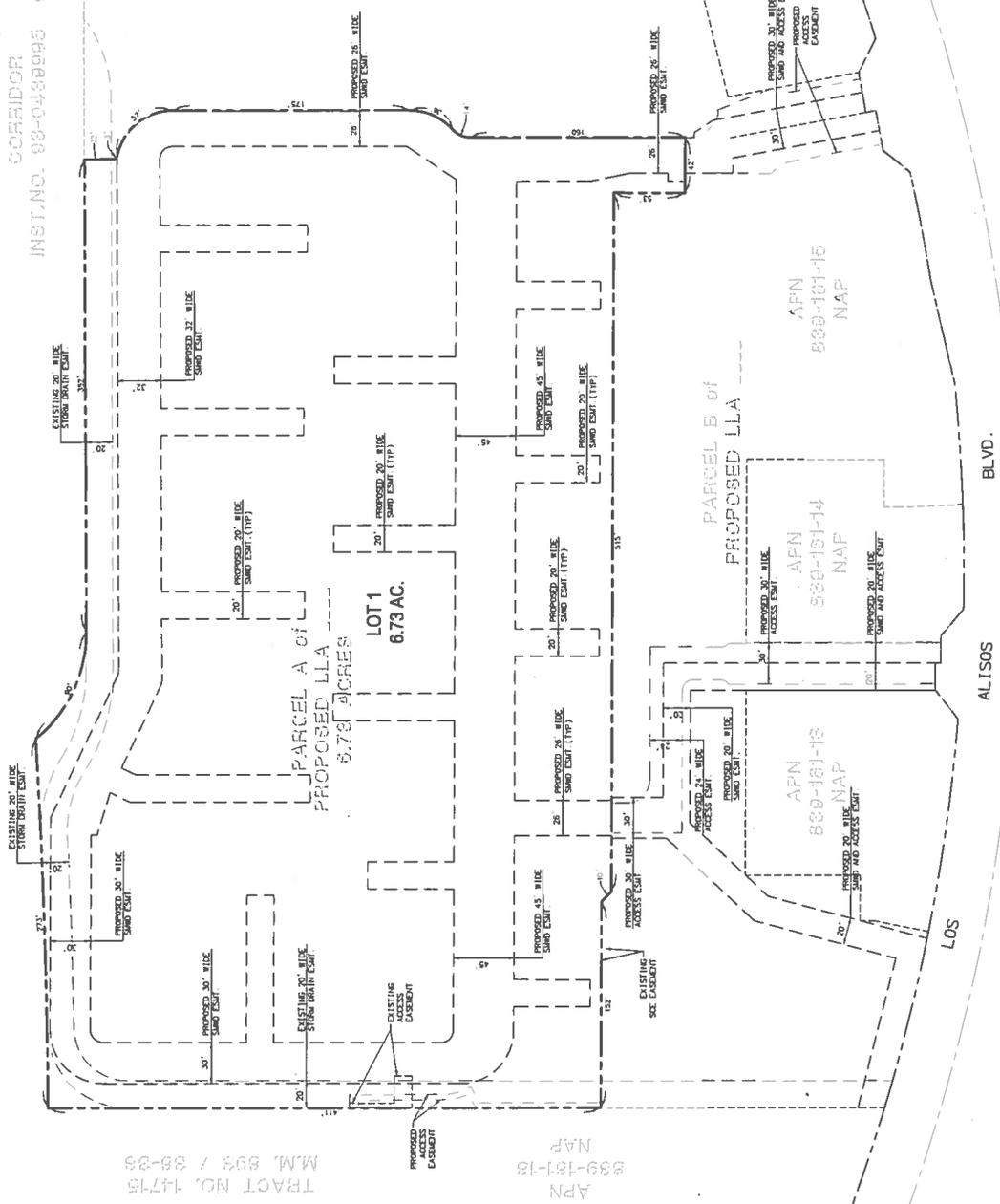
TRACT NO. 12532
 M.M. 725 / 25-30
 APN 839-251-01
 NAP

PARCEL B of
 PROPOSED LLA LL17
 APN 839-161-13
 NAP

APN 839-161-17
 NAP

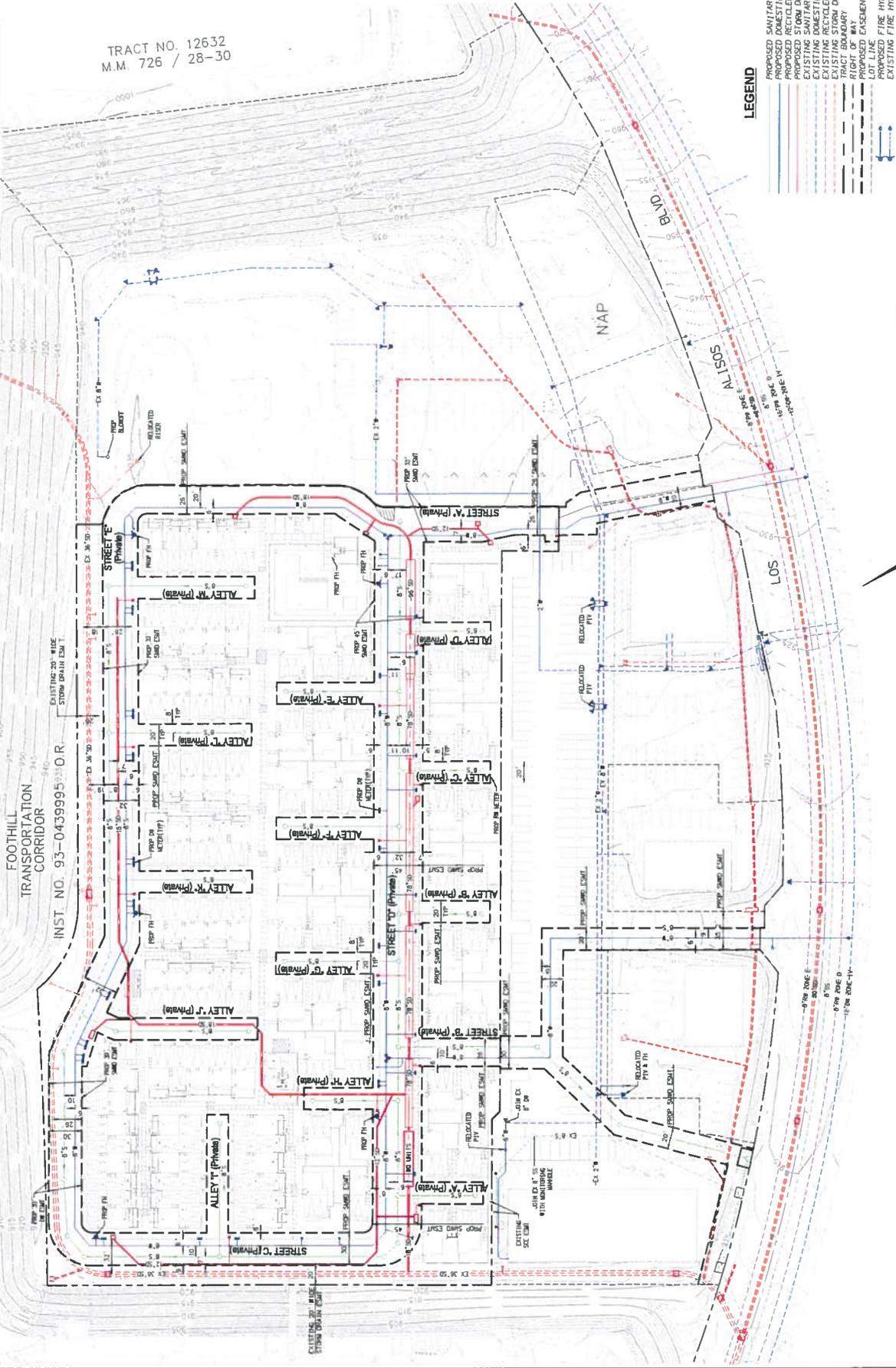
PROPOSED 30' WIDE
 SWAY AND ACCESS EASEMENT

FOOTHILL
 TRANSPORTATION
 CORRIDOR
 INST. NO. 88-0438995 O.R.



TRACT NO. 14715
 M.M. 893 / 88-38
 APN 839-161-13
 NAP

TRACT NO. 12632
M.M. 726 / 28-30



LEGEND

- PROPOSED SANITARY SEWER (PUBLIC)
- PROPOSED DOMESTIC WATER (PUBLIC)
- EXISTING SANITARY SEWER (PUBLIC & PRIVATE)
- EXISTING DOMESTIC WATER (PUBLIC & PRIVATE)
- EXISTING RECYCLED WATER (PUBLIC)
- EXISTING RECYCLED WATER (PUBLIC & PRIVATE)
- EXISTING STORM DRAIN (PUBLIC & PRIVATE)
- TRACT BOUNDARY
- RIGHT OF WAY
- PROPOSED EASEMENT
- EXISTING FIRE HYDRANT (PUBLIC)
- PROPOSED FIRE HYDRANT (PUBLIC)
- EXISTING FIRE HYDRANT (PUBLIC)

PROJECT NO.	MISSION FOOTHILLS
SHEET	CONCEPTUAL UTILITIES
3	CITY OF MISSION VIEJO
OF 5	

PROACTIVE
ENGINEERING CONSULTANTS
27042 Towne Centre Drive, Suite 110
Foothill Ranch, CA 92610 (848) 716-7480

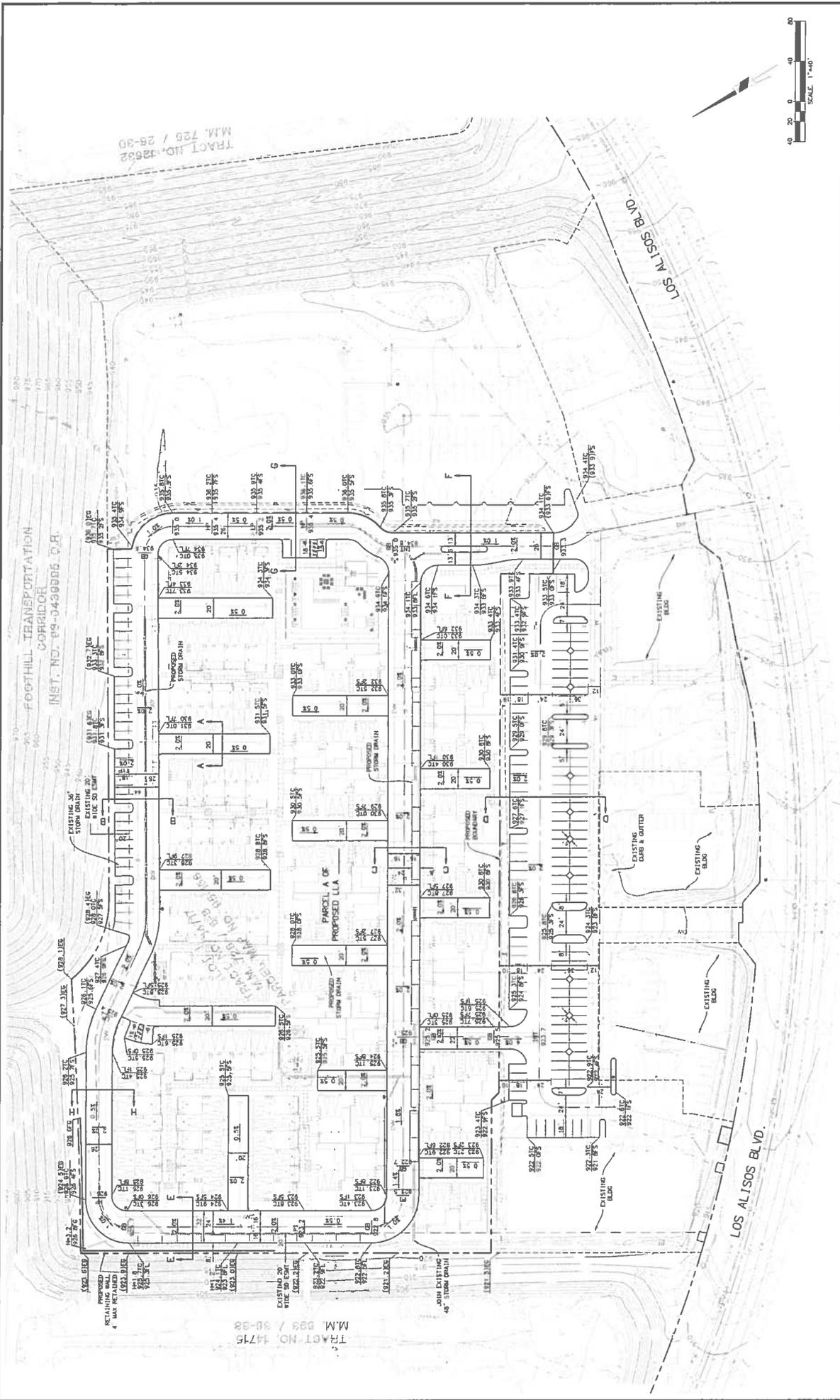
DATE: 05/01/2019



PROJECT NO	
SHEET	
4	OF 5
MISSION FOOTHILLS	
CONCEPTUAL GRADING PLAN	
CITY OF MISSION VIEJO	

PROACTIVE
ENGINEERING CONSULTANTS
27042 Torrey Canyon Drive, Suite 110
Foothill Ranch, CA 92610 (848) 716-7480

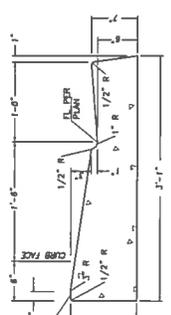
DATE: 05/01/2019



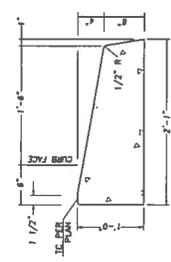
TRACT NO. 14582
M.M. 726 / 28-30

FOOTHILL TRANSPORTATION
CORRIDOR
INST. NO. 19-0430005 D.B.

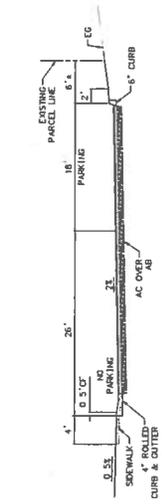
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M.M. 898 / 38-38



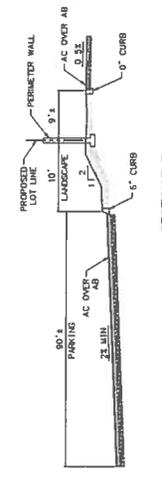
MODIFIED ROLLED CURB & GUTTER DETAIL



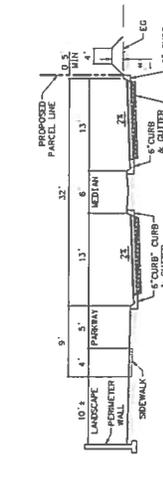
MODIFIED ROLLED CURB DETAIL



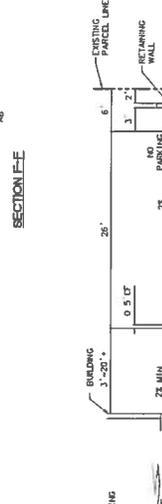
SECTION A-A



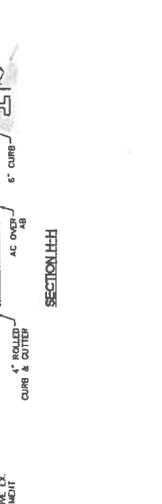
SECTION B-B



SECTION C-C



SECTION D-D



SECTION E-E



SECTION F-F



SECTION G-G



May 2, 2019

Larry Longenecker
Planning and Economic Development Manager
City of Mission Viejo
200 Civic Center
Mission Viejo, CA 92691

**Subject: General Plan Amendment GPA2018-32 / Zone Change ZC2018-21 / Planned Development Permit PDP2018-303
Proposed Residential at Mission Foothills Marketplace**

Dear Mr. Longenecker,

Shea Homes would like to thank City Staff for the thorough review of our proposed residential project within the Mission Foothills Marketplace. We are excited for the opportunity to build a new for sale residential community in the City of Mission Viejo. Below is a recap of the final development plans as well as the benefits of the proposed development.

Shea Homes is proposing to develop 105 homes on a 6 ¾ acre site (15.6 units per acre with an RPD 30 Zoning designation) in the back half of the Mission Foothills Marketplace. We are achieving this density by incorporating a high density detached product with an attached three-story townhome product. The detached homes are three stories with roof decks. The plans offer 3 bedrooms with an optional 4th bedroom in lieu of den and the footages range from 1,898 SF to 2,217 SF. The garages are accessed from an alley and the yards use reciprocal easements to maximize the usable space for each backyard. The attached homes are 2 to 3 bedrooms with footages ranging from 1,215 SF to 1,950 SF. Each unit has a private patio on the ground level and two of plans have balconies on the living level of the home. Both products offer a “transitional” architectural style which blends some classic elements with more contemporary architectural elements. The detached homes include a mix of Tuscan, Spanish and Farmhouse inspired elevations and the attached is a Tuscan-inspired style.

The residential site will take access from the signalized intersection and is adjacent to the City Lane. There will be a wall with a landscaped buffer that separates the homes from the retail buildings and retail parking lot. The recreation facility is located at the site entry and includes a pool, spa, shade structure with a BBQ and tables, as well as a restroom building. Between the two products is an internal paseo that leads from one end of the community to the other. The detached homes facing the paseo will have direct access from their front door to the walkway. The paseo starts at the recreation facility and ends just past the tot lot and a second BBQ area. There is one additional BBQ area serving the townhomes. Circulation is provided around a main loop street with alleys that lead to the garages. Parking is along the loop street, both parallel and pull in stalls. Required guest parking is 35 spaces and the proposed project is providing 65 spaces.

sheahomes.com

2 Ada, Suite 200, Irvine, CA 92618

O: 949.526.8800

Benefits of the proposed development:

- **Redevelopment of Failed Center.** As is evident, the needs of the greater community particularly in terms of “big box” retail (market, drug store) are well met with existing centers that are more convenient. This proposed redevelopment will complement the successful existing restaurants and small businesses by providing additional customers at their doorstep while revitalizing an area that will only continue to decline in appearance. The front four buildings along Los Alisos Blvd. will remain.
- **Retail Parking and Landscaping.** A revised parking layout has been developed to provide 222 parking spaces for the remaining retail and restaurant uses, including the future demand of vacant spaces. In addition to reconfiguring the parking lot and adding new lighting and landscaping, the existing landscaping along Los Alisos Blvd. will be refurbished.
- **Affordable Housing.** The proposed project will provide 16 additional affordable units, both low and very low income.
- **New Homes.** In addition to the provision of additional affordable housing, the proposed project will introduce additional new homes for the residents of Mission Viejo. The diversity of product will provide housing options for a variety of households.
- **Traffic.** The trip generation study shows the average daily trip of the proposed project will drop significantly when compared to a fully occupied retail center.

During the design process Shea Homes had three meetings with Palmia Board Members and recently we held a Community Outreach Meeting where all Palmia homeowners were invited to attend. We have also had multiple meetings with the restaurant owners of Piccolino and Ballpark Pizza.

Thank you again for your review of our proposed residential community and we look forward to presenting the project to the Planning Commission and City Council. If you have any questions or need additional information, please contact me at (949) 526-8837 or brooke.doi@sheahomes.com.

Sincerely,
Shea Homes Limited Partnership



Brooke Doi
Director, Community Development



April 22, 2019

Larry Longenecker
Planning and Economic Development Manager
City of Mission Viejo
200 Civic Center
Mission Viejo, CA 92691

**Subject: General Plan Amendment GPA2018-32 / Zone Change ZC2018-21 / Planned Development Permit PDP2018-303
Proposed Residential at Mission Foothills Marketplace
Request for Variances**

Dear Mr. Longenecker,

Thank you for the review and processing of our proposed residential project within the Mission Foothills Marketplace. Shea Homes is requesting the following variances:

- **Front setback - The code requirement is 30' and request is 10':**
The proposed residential site is located in the back half of the existing retail center. The setback of homes from the Los Alisos public right of way ranges from 220 to 260 feet. The homes are setback 20 feet from the nearest parking stalls and ten feet to the tract boundary. There is a six-foot wall along the tract boundary that separates the parking lot and homes. There is ten feet of landscaping along the retail side of the wall and either common area landscaping or private rear yards in the ten feet between the homes and wall.
- **Building separation - The code requirement is 10' and request is 6':**
The proposed single family detached is considered high density detached and is similar to a townhome product that has been pulled apart to create a detached home with a small yard. It is providing an opportunity to purchase a single-family home at a more attainable price than what would be seen in areas with large setback requirements. High density detached is common practice in many local jurisdictions, including Costa Mesa, Newport Beach and Irvine. Many jurisdictions have gone as far as to approve what is effectively a "zero" setback (small lot ordinance) for the purpose of achieving more attainable housing and more housing period. It should be noted that a 6-foot separation between structures is in accordance with the Building Code.
- **Variance for tandem garages (19 of 61 townhome garages to be tandem):**
The tandem garages are located at the two-bedroom units that are approximately 1,215 SF. A majority of these units will also serve as the affordable units for the project. We anticipate a mix of single person households, couples and some young families so in theory

there should not be multiple cars per household. In the event that some units have more than two cars the project is providing an additional 30 parking spaces beyond what is required by code. The HOA will also enforce garage parking via garage inspections that will occur every six months.

- Drive aisle widths - request widths as shown on Tentative Map:
The project is proposing 26' wide and 32' wide drive aisles. The 32' wide drive aisles allow for parking on one side of the street. The reduced drive aisle width allows for better landscaping, more permeability, less runoff and still meets fire code requirements.
- Building Height - Code is 35' and request is 42'-6":
The three-story townhomes and single-family homes are 39 feet to the highest parapet with an additional three feet to the top of the ridge on the tower element of the attached and three and half feet on the detached. The Housing Element allows for a 15% deviation on height, which would make the highest parapet and majority of the roof line is within range. In addition to being a three-story product, what is contributing to the footage above the 35-foot height requirement is 9-foot plates on each floor, parapets to screen the mechanical equipment on the attached product and roof decks on the detached product. The additional footage on a smaller footprint contributes to more affordable and attainable housing.

Thank you in advance for your review. If you have any questions or need additional information, please contact me at (949) 526-8837 or brooke.doi@sheahomes.com.

Sincerely,
Shea Homes Limited Partnership



Brooke Doi
Director, Community Development

Variance Request
Page 2 of 2

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CARLSBAD
FRESNO
IRVINE
LOS ANGELES
PALM SPRINGS
POINT RICHMOND
RIVERSIDE
ROSEVILLE
SAN LUIS OBISPO

January 3, 2019

Brooke Doi
Shea Homes
2 Ada, Suite 200
Irvine, CA 92618

Subject: Mission Foothills Shopping Center – Trip Generation Analysis

Dear Ms. Doi:

At your request, LSA has prepared this analysis of trip generation for the proposed redevelopment of the Mission Foothills Shopping Center (project) located between Los Alisos Boulevard and State Route 241 (SR-241) in Mission Viejo. The purpose of this analysis is to determine the potential trip generation of the proposed project and whether the project would require a more detailed traffic analysis.

As shown in Figure 1 (all figures attached), the existing Mission Foothills Shopping Center consists of an in-line commercial retail center and four pad buildings. One of the pad buildings (Building 4) is 11,375 square feet (sf) and has eight suites. Another pad building (Building 1) is 7,800 sf and has four suites. Two of the pad buildings (Buildings 2 and 3) house restaurants. At this time, most of the in-line commercial center, most of the 11,375 sf building, and half of the 7,800 sf building are currently vacant. The project would demolish the in-line commercial center, would retain the two restaurant pads, would reoccupy the 7,800 sf building and the 11,375 sf building, and would construct new residential dwellings on land previously occupied by the commercial center and parking lot. Both of the existing access driveways on Los Alisos Boulevard would be unaltered by the project.

As shown on Figure 2, the existing commercial center would be replaced with a residential development consisting of two parts: 44 single-family dwellings and 61 attached townhomes. A third residential project (under separate application) would construct 60 multifamily dwellings on a currently vacant portion of the commercial center's lot.

LSA examined the trip generation potential of the proposed project by referencing trip generation rates found in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 10th Edition (2017). Trip generation rates for shopping centers (land use 820) include a mixture of uses, including restaurants. LSA applied the shopping center trip rate rather than separately calculating the restaurants' trip generation in order to provide a conservative analysis.

Table A provides a comparison between the trip generation of the proposed project and the trip generation of the uses being replaced. Table A considers two scenarios. In the existing condition, only approximately 11,300 sf is currently occupied in the commercial building being demolished. As a result, construction of residential dwellings would result in more trips in and out of the center's

Table A: Trip Generation Comparison

Land Use	Size	Unit	ADT	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
Trip Rates¹									
Single Family Detached Housing (210)		DU	9.44	0.19	0.56	0.74	0.62	0.37	0.99
Multifamily Housing (Low Rise) (220)	–	DU	7.32	0.11	0.35	0.46	0.35	0.21	0.56
Shopping Center (820)	–	TSF	37.75	0.58	0.36	0.94	1.83	1.98	3.81
Trip Generation									
<i>Proposed Project</i>									
Single Family	44	DU	415	8	25	33	28	16	44
Townhomes	61	DU	447	7	21	28	21	13	34
Total Residential	105	DU	862	15	46	61	49	29	78
<i>Existing Use</i>									
Currently Occupied Commercial (820)	11.3 ²	TSF	427	7	4	11	21	22	43
Currently Constructed Commercial (820)	99.5 ³	TSF	3,756	58	36	94	182	197	379
Proposed Project Minus Occupied Commercial Uses			435	8	42	50	28	7	35
Proposed Project Minus General Plan Commercial Uses			-2,894	-43	10	-33	-133	-168	-301

¹ Trip rates are referenced from the 10th Edition of the *Trip Generation Manual* (Institute of Transportation Engineers 2017).

² Currently occupied commercial space in the building being replaced

³ Estimated total commercial space being replaced

ADT = average daily trips

DU = dwelling units

TSF = total square feet

driveways than occur today. However, the estimated 50 additional a.m. peak-hour trips and 35 additional p.m. peak-hour trips are below the City’s thresholds for requiring additional traffic analysis (i.e., greater than 50 peak-hour trips). In addition, the roadway infrastructure was constructed and functioned with the higher trip generation of the occupied commercial center.

Table A also examines the effect of the proposed residential development in the General Plan horizon. At some time in the future, the vacant commercial development could be reoccupied and generate traffic accordingly. As Table A shows, the trip generation potential of the currently constructed commercial space to be replaced is much higher than the trip generation potential of the residential development replacing it. The residential development is estimated to generate 33 fewer trips in the a.m. peak hour and 301 fewer trips in the p.m. peak hour.

Conclusion

LSA analyzed trip generation for the proposed residential development and the adjacent residential development that would replace the majority of the commercial uses in the Mission Foothills Shopping Center. Because the commercial space is mostly vacant today, the residential development would generate more traffic than is currently experienced at the commercial center driveways. However, the trip generation potential of the commercial space being replaced is greater than the trip generation potential of the residential development proposed to replace it. The residential development is estimated to generate 33 fewer trips in the a.m. peak hour and 301 fewer trips in the p.m. peak hour.

Because the project would not generate more than 50 new a.m. or p.m. peak-hour trips in the existing condition and generates fewer trips than the uses being replaced in the General Plan horizon, LSA does not believe the proposed project meets the criteria for requiring additional analysis.

Please let us know if you have any questions or if we can be of further assistance.

Sincerely,

LSA Associates, Inc.



Arthur Black
Associate/Transportation Planner

Attachments: Figure 1: Existing Site Plan
Figure 2: Future Site Plan
ITE *Trip Generation*, Tenth Edition data sheets

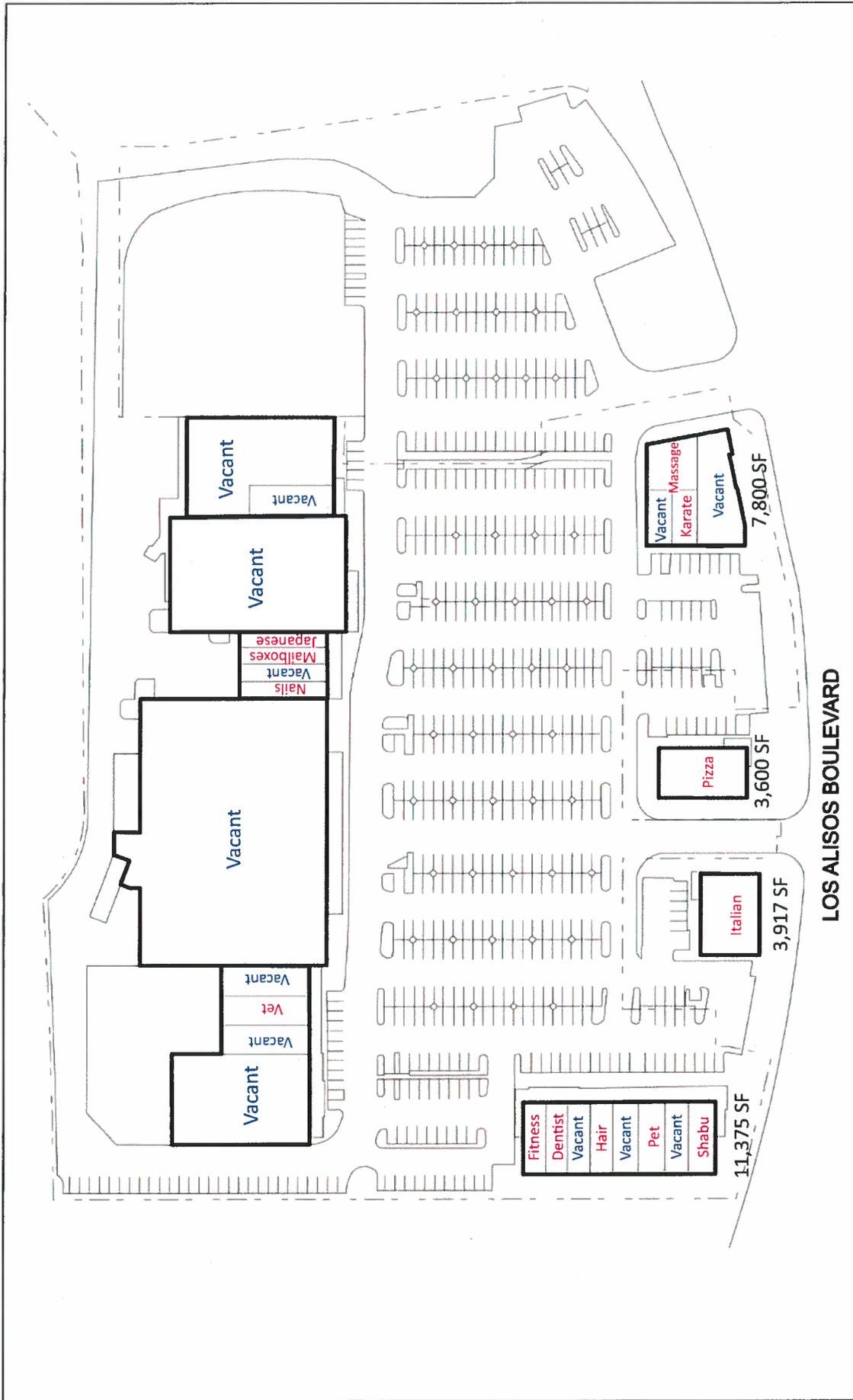


FIGURE 1



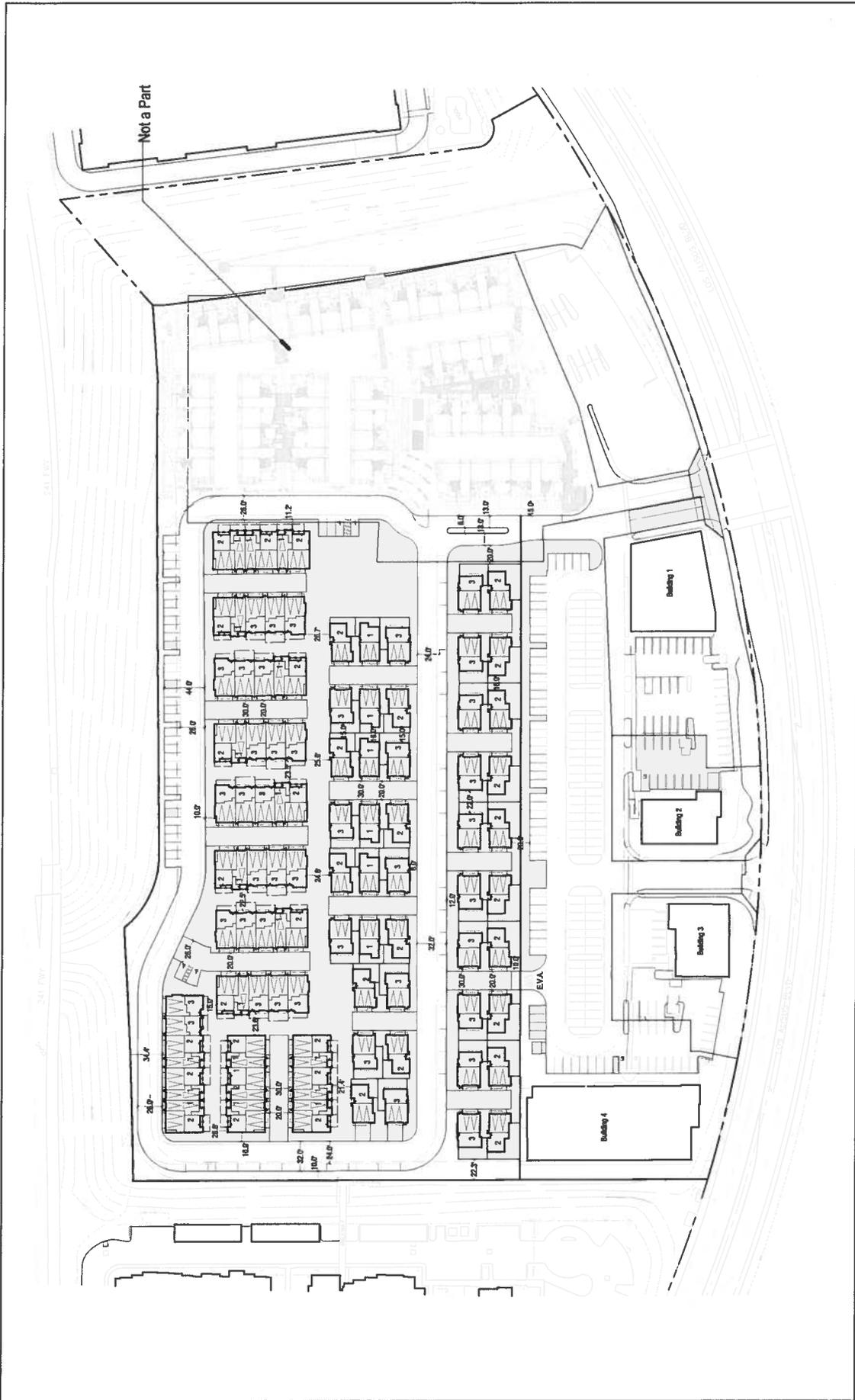


FIGURE 2

LSA



SOURCE: WHA

I:\SH01704\G\Future Site Plan.cdr (9/6/2018)

Shopping Center (820)

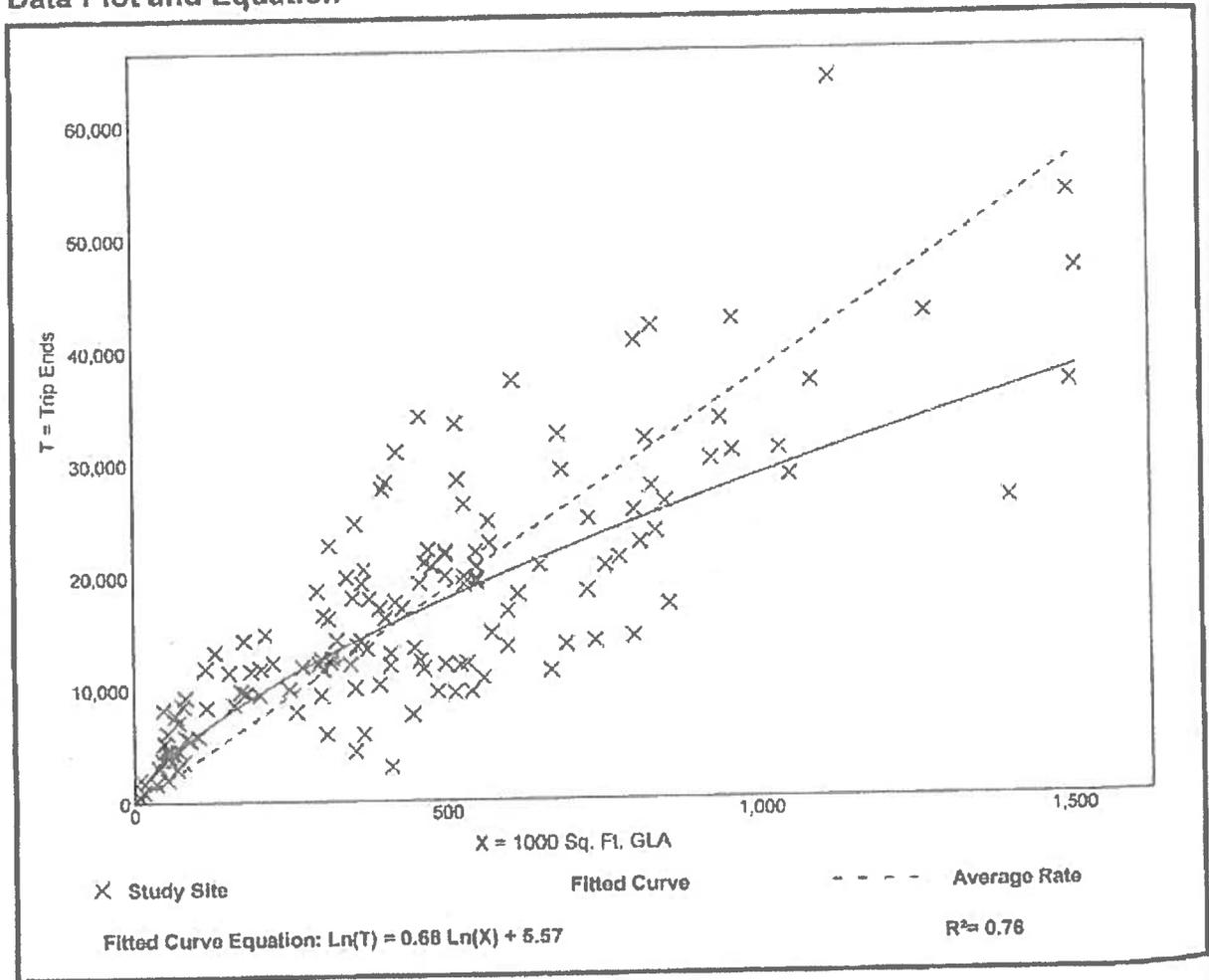
Vehicle Trip Ends vs: 1000 Sq. Ft. GLA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 147
1000 Sq. Ft. GLA: 453
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
37.75	7.42 - 207.98	16.41

Data Plot and Equation



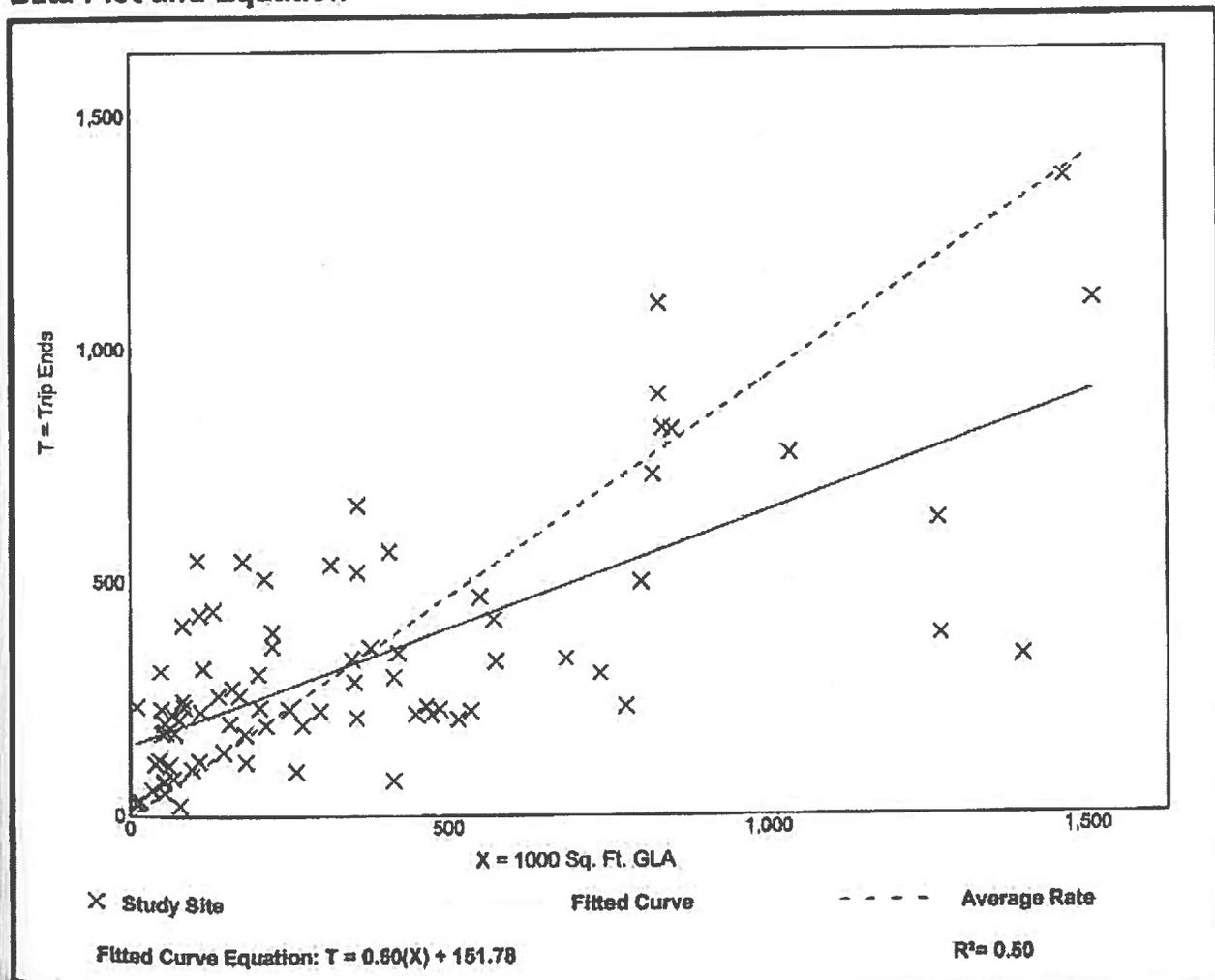
Shopping Center (820)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
Number of Studies: 84
1000 Sq. Ft. GLA: 351
Directional Distribution: 62% entering, 38% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
0.94	0.18 - 23.74	0.87

Data Plot and Equation



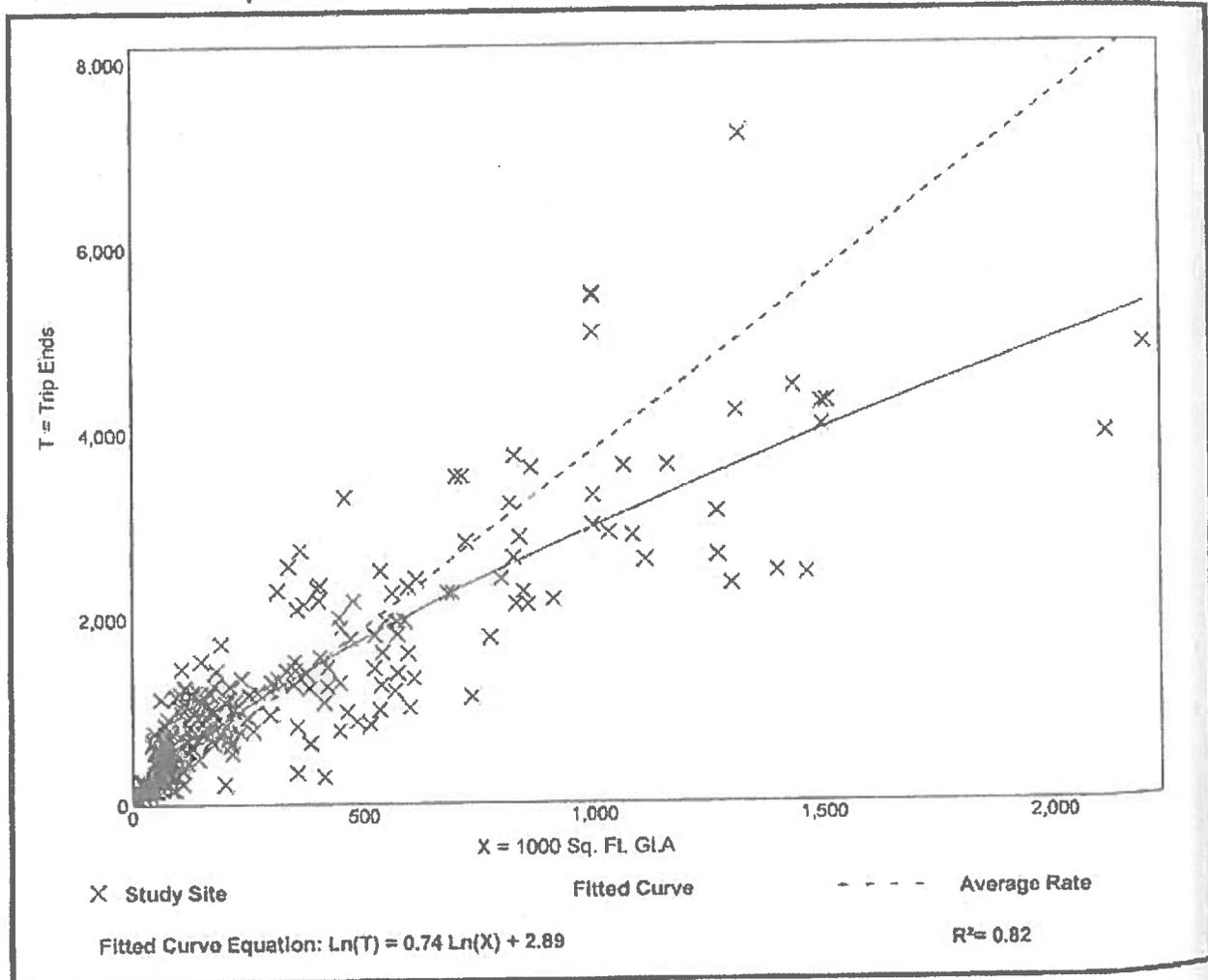
Shopping Center (820)

Vehicle Trip Ends vs: 1000 Sq. Ft. GLA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 261
 1000 Sq. Ft. GLA: 327
 Directional Distribution: 48% entering, 52% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	Standard Deviation
3.81	0.74 - 18.69	2.04

Data Plot and Equation



Single-Family Detached Housing (210)

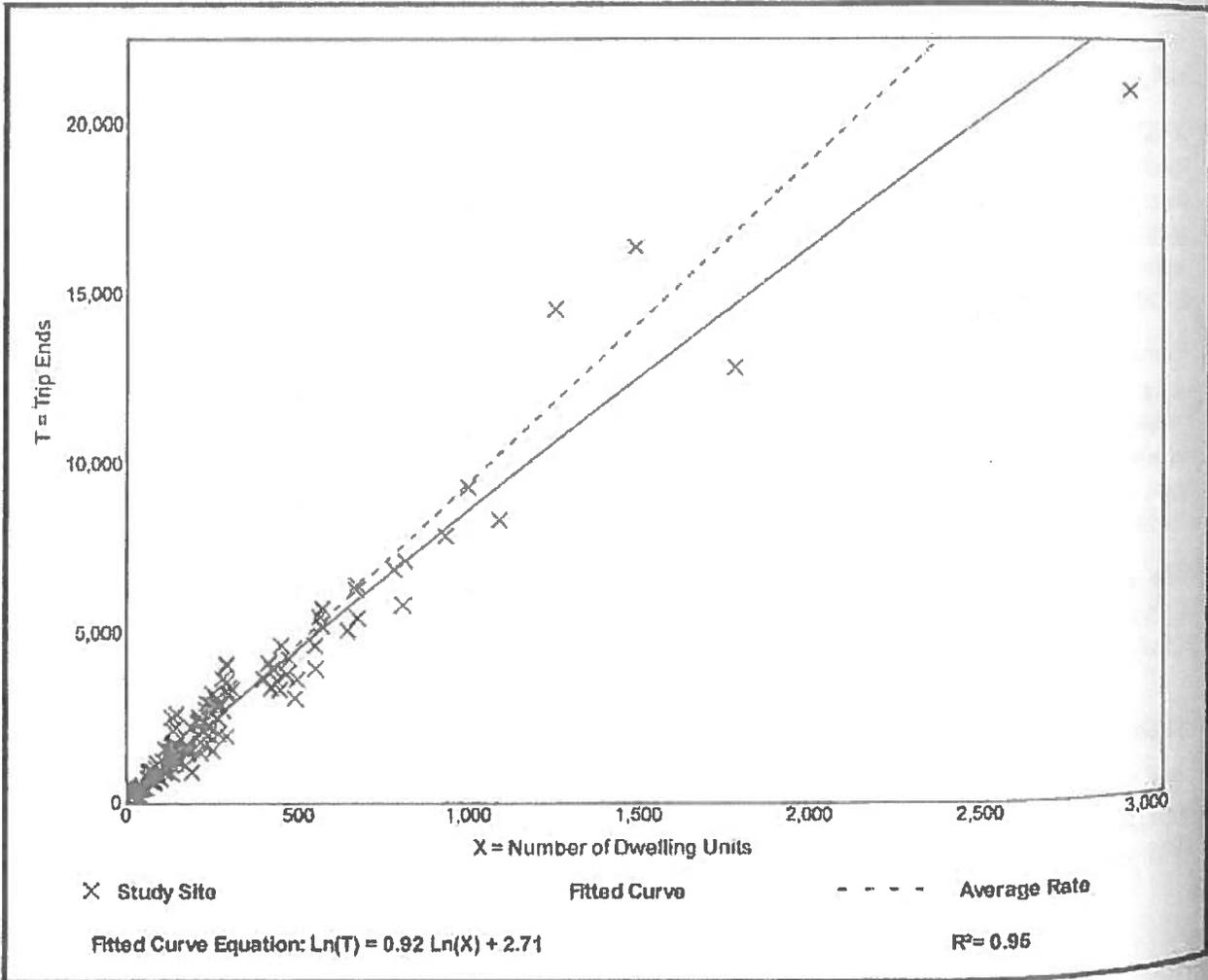
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 159
Avg. Num. of Dwelling Units: 264
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
9.44	4.81 - 19.39	2.10

Data Plot and Equation



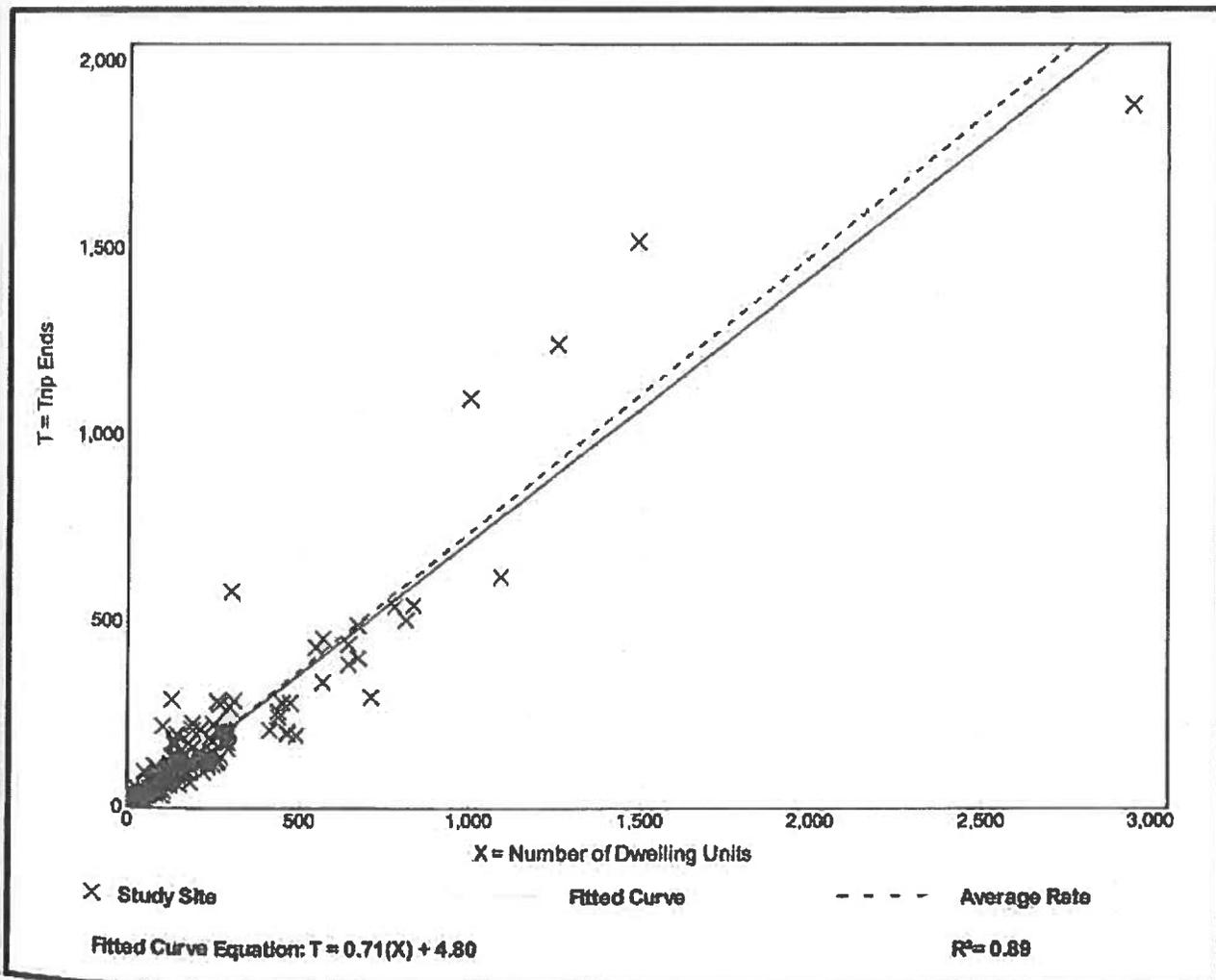
Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
Number of Studies: 173
Avg. Num. of Dwelling Units: 219
Directional Distribution: 25% entering, 75% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.74	0.33 - 2.27	0.27

Data Plot and Equation



Single-Family Detached Housing (210)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 190

Avg. Num. of Dwelling Units: 242

Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate

Range of Rates

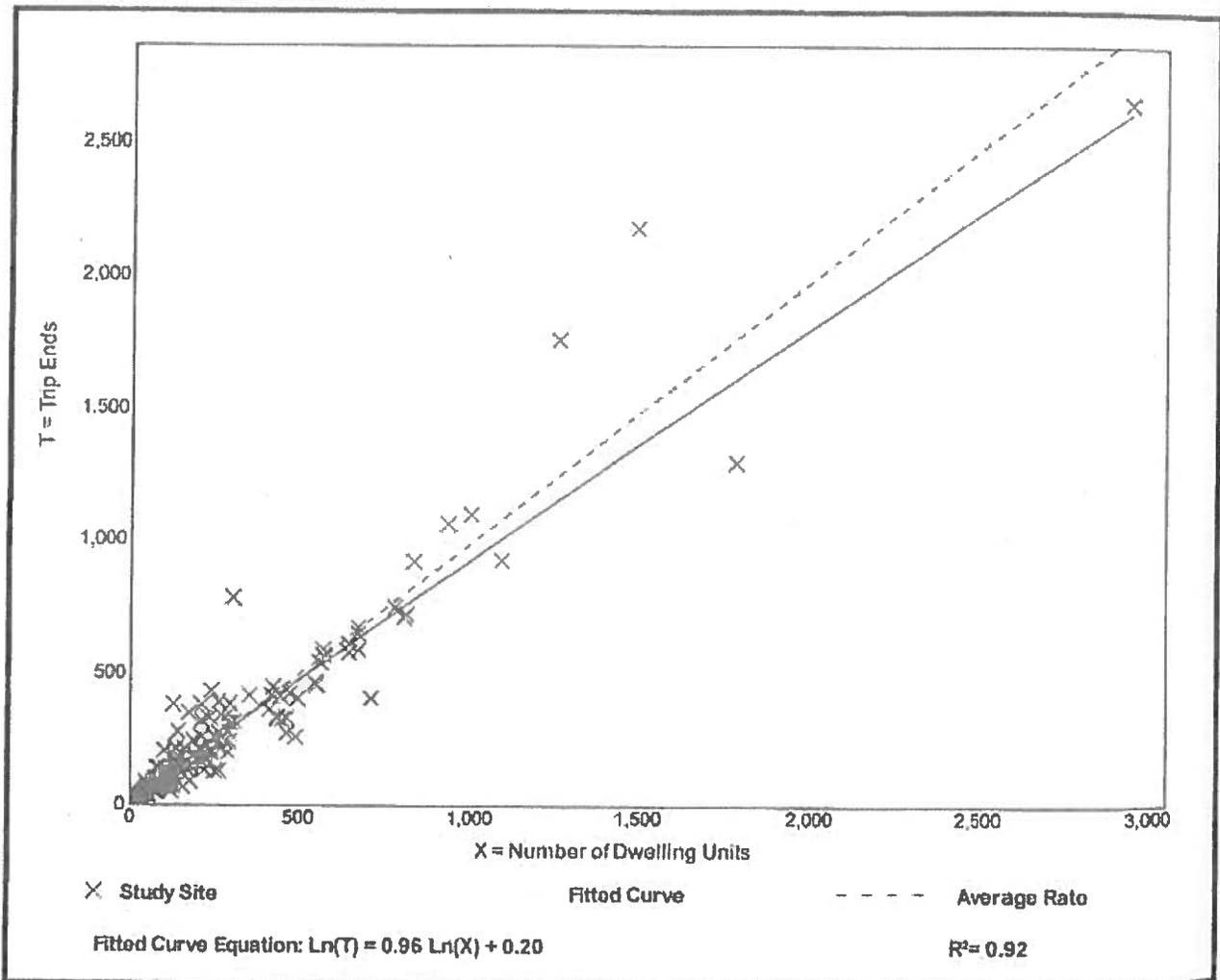
Standard Deviation

0.99

0.44 - 2.98

0.31

Data Plot and Equation



Multifamily Housing (Low-Rise) (220)

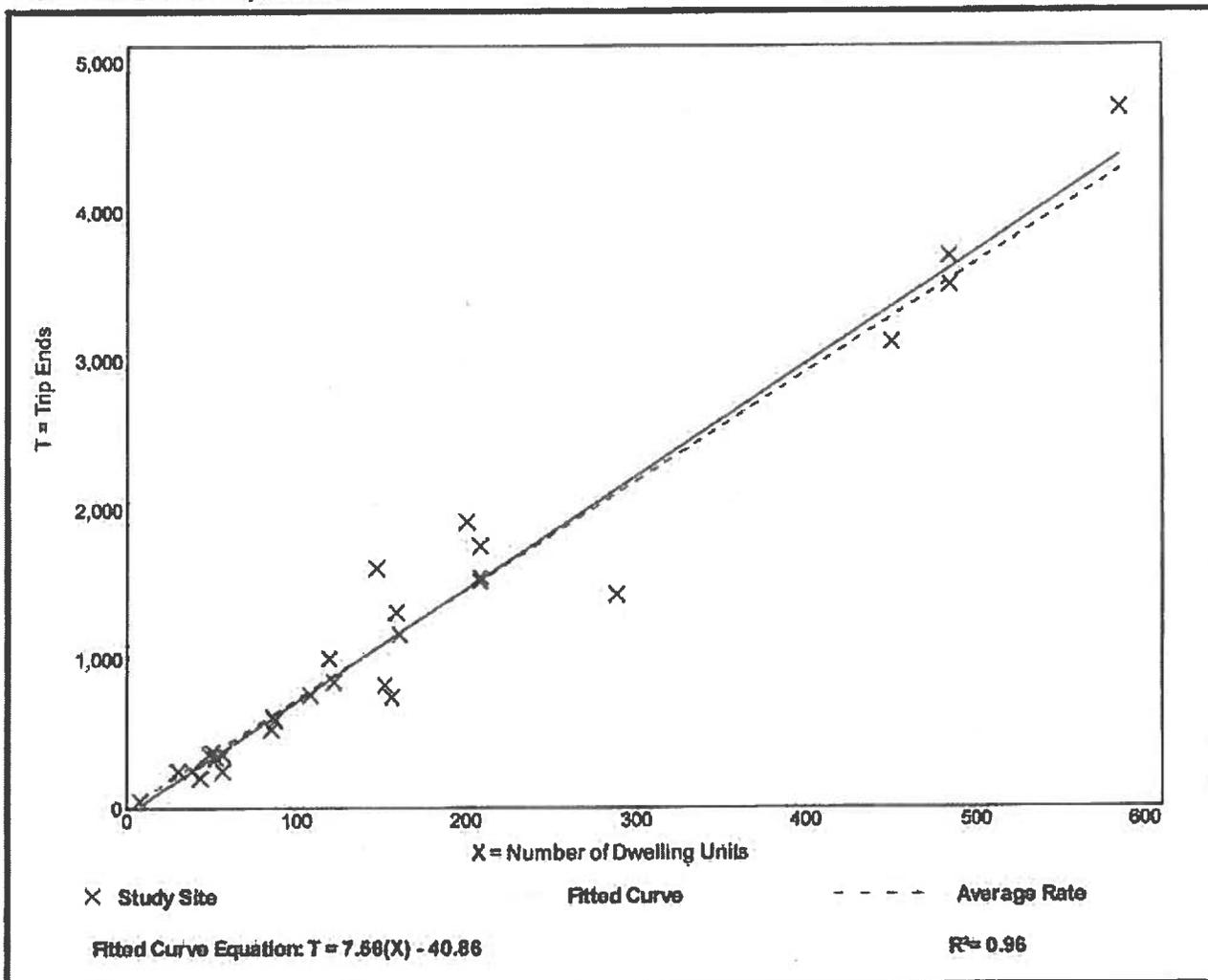
Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 29
Avg. Num. of Dwelling Units: 168
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
7.32	4.45 - 10.97	1.31

Data Plot and Equation



Multifamily Housing (Low-Rise) (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 42

Avg. Num. of Dwelling Units: 199

Directional Distribution: 23% entering, 77% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate

0.46

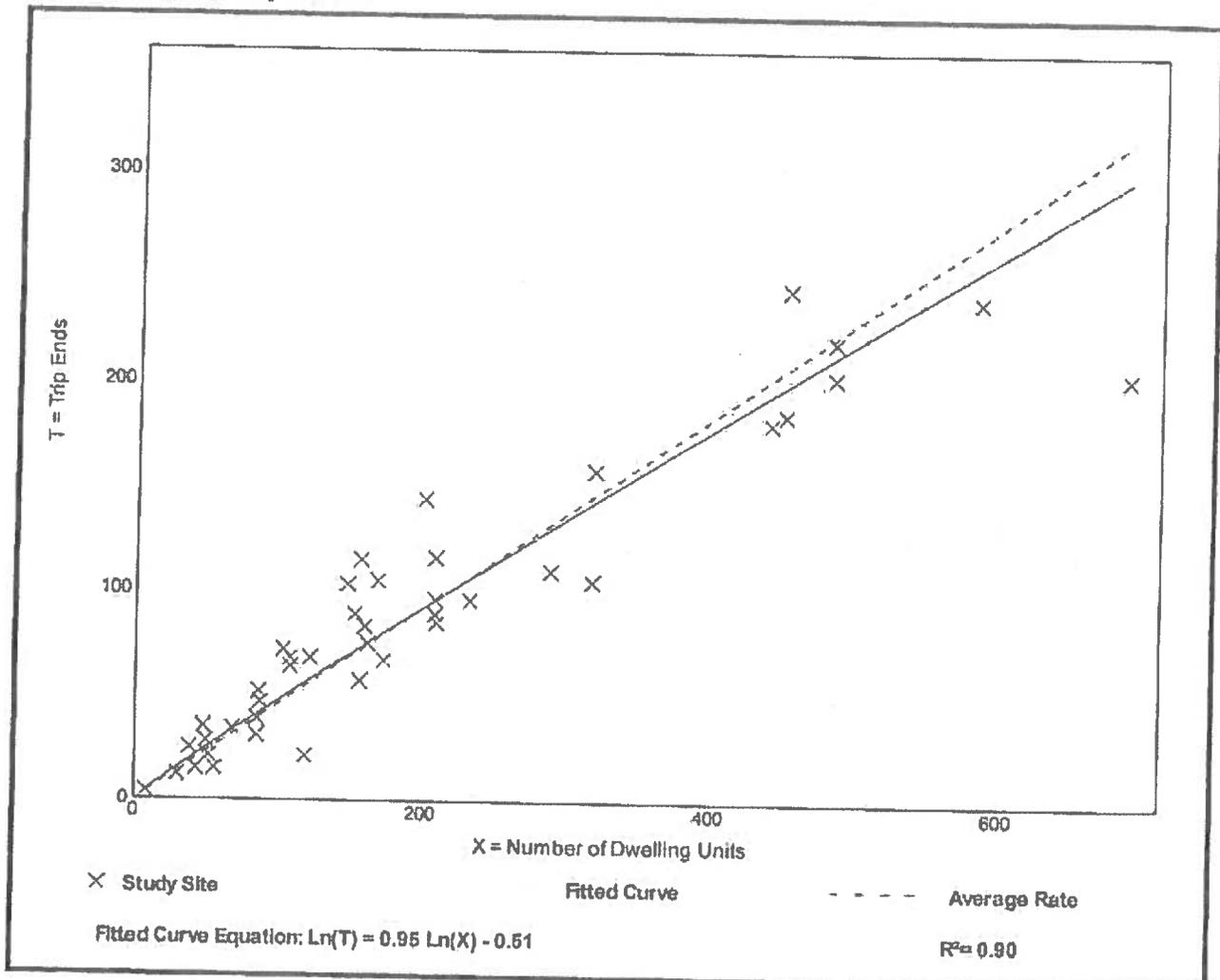
Range of Rates

0.18 - 0.74

Standard Deviation

0.12

Data Plot and Equation



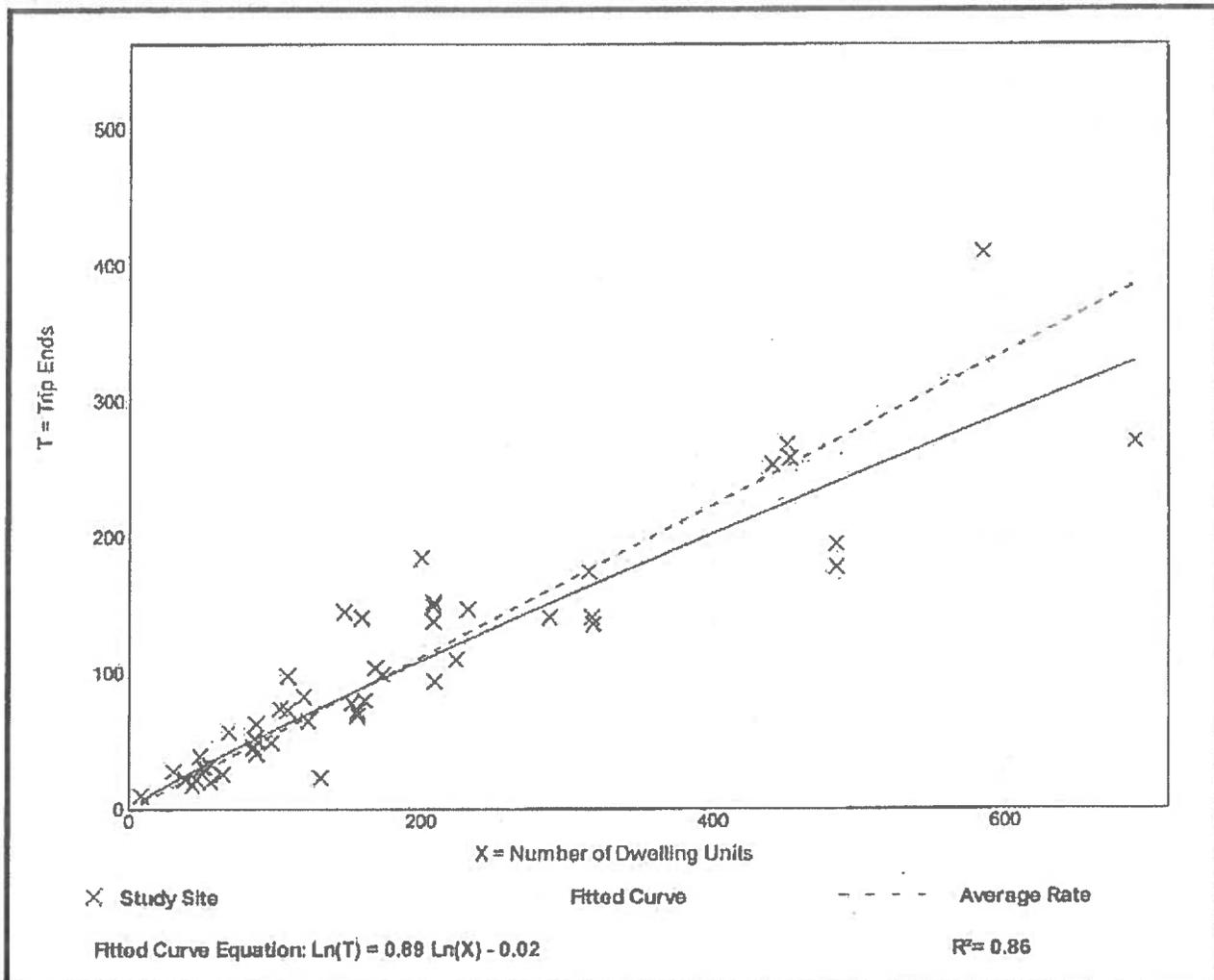
Multifamily Housing (Low-Rise) (220)

Vehicle Trip Ends vs: Dwelling Units
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 50
 Avg. Num. of Dwelling Units: 187
 Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.56	0.18 - 1.25	0.16

Data Plot and Equation





May 2, 2019

Brooke Doi
Shea Homes
2 Ada, Suite 200
Irvine, CA 92618

Subject: Parking Analysis for the Mission Foothills Shopping Center

Dear Ms. Doi:

LSA is pleased to submit this analysis of the parking availability and demand for the Mission Foothills Shopping Center on Los Alisos Boulevard in Mission Viejo. The center consists of an in-line retail strip at the back of the lot and four pad buildings along Los Alisos Boulevard. Within the retail strip, three of the four anchor spaces and several of the in-line suites are currently vacant. The restaurant pads are occupied and the retail pad buildings are approximately half occupied. Figure 1 shows the existing buildings and indicates vacancies (all figures shown in Attachment A).

The proposed project would demolish the retail strip, fill vacancies in the 11,375-square-foot (sf) and 7,800 sf commercial pads, and construct single-family and multifamily residential dwelling units. Figure 2 shows the future site plan. As shown on Figure 2, the remaining commercial portion of the project will have 222 parking spaces. The residential component of the project would satisfy its own parking demand. The purpose of this analysis is to identify the appropriate number of parking spaces to retain for the commercial uses.

A second residential project, called City Lane, will also occupy a portion of the Mission Foothills Shopping Center. The City Lane project is negotiating for the use of 10 shared parking spaces within the commercial parking lot.

MUNICIPAL CODE PARKING REQUIREMENT

Mission Viejo Municipal Code (MVMC) Section 9.25.020 establishes required off-street parking spaces. Table A summarizes the parking required per the Municipal Code for the commercial uses remaining after construction of the proposed project. Although no tenants have been identified at this time, Table A presents a potential scenario where two of the vacancies in the remaining commercial pads are occupied by restaurants, and the other vacancies are occupied by retail uses.

As Table A shows, with the existing uses, two new restaurants, and three new retail uses, the MVMC would require 210 parking spaces for the commercial center. This calculation would be lower applying the restaurant parking rate to the public seating areas of the restaurants as stipulated in the MVMC. Figure 2 shows that the commercial center will provide 222 parking spaces. It should be noted that the City Lane project would occupy a portion of the existing parking lot and is negotiating for the use of 10 shared parking spaces within the commercial parking lot. The 212 spaces exclusively for the commercial center still exceeds the 210 parking spaces required by the MVMC.

California Green Code Sections 5.106.5.3 and A5.106.5.3 require electric vehicle charging infrastructure in the parking lots for new, nonresidential buildings. California Green Code Section

5.106.5.2 requires designated parking for clean air vehicles in new construction or alternations that add 10 or more vehicular parking spaces. The project would not construct new nonresidential buildings and would not add nonresidential parking spaces. Therefore, these code sections do not apply.

Table A: Existing Mission Viejo Municipal Code Parking Requirements

Parking Rates					
Land Use	Municipal Code				
Barber Shop/Beauty Parlor	2 spaces for each barber chair; 3 spaces for each beautician station				
Health Clubs	1 space for each 150 sf of gross floor area				
Medical/Dental Office	1 space for each 150 sf of gross floor area				
Restaurant, café, or bar	1 space for each 100 sf of public seating area up to 4,000 sf, plus 1 space per 80 sf over 4,000 sf; minimum of 10 spaces				
Retail Commercial	1 space for each 200 sf of gross floor area				
Individual Use Parking Requirements		Hours	Size	Unit	Required Parking
Building 1					
Massage Envy	Retail	8:00 a.m. to 10:00 p.m. (weekends until 6:00 p.m.)	3,300	sf	17
Karate Fitness	Health Club	4:00 p.m. to 9:00 p.m.	1,500	sf	10 ²
Vacant Suite #1	Restaurant		1,500 ¹	sf	15 ³
Vacant Suite #2	Retail		1,500	sf	8 ³
Subtotal Building 1			7,800	sf	50
Building 2					
Ballpark Pizza	Restaurant	11:00 a.m. to 10:00 p.m. Friday and Saturday, 10:00 a.m. to 9:00 p.m. Sunday, 11:00 a.m. to 9:00 p.m. Monday to Thursday	3,600 ¹	sf	36
Subtotal Building 2			3,600	sf	36
Building 3					
Piccolino	Restaurant	11:30 a.m. to 2:30 p.m. and 4:00 p.m. to 10:30 p.m. (Saturday and Sunday all day)	3,917 ¹	sf	40
Subtotal Building 3			3,917	sf	40
Building 4					
Wright Way Fitness	Health Club	5:00 a.m. to 8:00 p.m. (weekends morning only)	1,300	sf	9
Dentist	Medical Office	9:00 a.m. to 5:30 p.m. weekdays	2,275	sf	16
Vacant Suite #3	Restaurant		975	sf	10 ³
Hair Salon	Beauty Parlor	Hours not posted	5	stations	15
Vacant Suite #4	Retail		975	sf	5 ³
Golden Touch Pet Salon	Retail	8:30 a.m. to 6:00 p.m. (closed Sunday and Monday)	975	sf	5
Vacant Suite #5	Retail		2,275	sf	11 ³
Shabuza Hot Pot	Restaurant	5:00 p.m. to 9:30 p.m. Friday and Saturday (5:00 p.m. to 8:30 p.m. Sunday-Thursday)	1,300 ¹	sf	13
Subtotal Building 4			11,375	sf	84
Total					210

¹ Parking rate conservatively applied to gross square feet rather than public seating area as specified in MVMC 9.25.020. Applying parking rate to public seating area, per the code, would lower the parking requirement.

² The demand for 10 parking spaces anticipated for this use is not currently observed in parking surveys.

³ The total parking requirement for these five vacant suites is 49 spaces.

sf = square feet

The buildings remaining after the project and the parking spaces immediately adjacent to those buildings are not altered by the project. In the existing condition, five accessible parking spaces serve Buildings 1–4. The locations of these five accessible parking spaces are shown on Figure 1. MVMC Section 9.25.025 would require seven handicap parking spaces for a parking lot with between 200 and 300 total spaces. MVMC Section 9.25.025 requires at least one in eight handicap parking spaces to be van-accessible spaces. Figure 2 shows that the existing five accessible parking spaces are retained in their same location, and two more spaces will be added for a total of seven accessible parking spaces. Of these, three meet the standards for van-accessible spaces, exceeding the requirement.

OBSERVED PARKING DEMAND

LSA was informed that Piccolino and Ballpark Pizza had expressed concern that their parking demand may exceed the municipal code requirement. LSA also considered that the location of the Mission Foothills center might lead to lower parking demand than predicted by the municipal code. LSA contracted with an independent data collection company to collect parking accumulation data in the existing parking lot to determine whether adjustment of the municipal code parking rates is warranted.

Restaurants typically experience their peak parking demand in the evenings. LSA visited the Mission Foothills center in the evening to view existing parking conditions. Business occupancy and parking demand is highest adjacent to Los Alisos Boulevard. Because parking was not constrained, patrons of a business were observed to park in spaces near that business. LSA observed that parking demand could be recorded for various zones of the parking lot and this would allow the parking demand for individual uses to be calculated. Figure 3 illustrates the analysis zones.

Table B: Summary of First Observed Parking Demand

	Nearest Traffic Generator	Parking Available	Friday, December 8, 2017		Saturday, December 9, 2017			
			6:00 p.m.		3:00 p.m.		7:30 p.m.	
			Occupied	Vacant	Occupied	Vacant	Occupied	Vacant
Zone 1	Retail	36	23	13	21	15	28	8
Zone 2	Piccolino	53	40	13	15	38	48	5
Zone 3	Ballpark Pizza	36	10	26	14	22	10	26
Zone 4	Ballpark Pizza	8	6	2	7	1	7	1
Zone 5	Ballpark Pizza/Retail	76	14	62	11	65	5	71
Zone 6	Ballpark Pizza	28	20	8	19	9	9	19
Zone 7	Retail	9	1	8	0	9	0	9
Zone 8	Retail	37 ¹	4	33	2	35	0	37
Total Demand for Remaining Uses		283	118		89		107	

Note: Table provides a summary of parking demand during peak periods. Hourly surveys are included as an attachment.

¹ Zone 8 is proposed to be modified by the City Lane project reducing supply to 9 parking spaces.

The entire shopping center parking lot was surveyed with finer-grain detail near the uses remaining after the proposed project. Detailed parking data by zone and time of day was collected during a typical Friday and a typical Saturday. Table B summarizes that parking data for the uses to remain after the project. Parking data collected in the parking zones serving the commercial building to be removed as part of the project (i.e., Zones 10 and 11) are not included in Table B because the building being demolished will no longer generate parking demand after its demolition. Parking data

for Zone 9 is not included in Table B because that zone is not convenient to any of the uses, vacant parking spaces were observed at all times in parking fields closer to shopping center buildings, and Zone 9 is retained after the proposed project and adjacent project. However, the parking spaces in Zone 9 are not counted toward the project’s total commercial parking supply. Although Zone 8 will be demolished in the future as part of the City Lane Residential project, Zone 8 is included in Table B because the existing parking demand in Zone 8 will relocate to Zones 5 and 7. The boundaries between parking zones were selected based on observations of the parking lot so that the full parking demand for the remaining buildings is accounted for in the parking zones summarized in Table B. Complete data is attached for informational purposes.

Subsequent to the preparation of a draft parking analysis, LSA was requested to revisit the shopping center and survey on an additional weekend during the spring. Additional traffic data were collected during a nonholiday weekend in April 2018. Table C presents this additional data.

Table C: Summary of Second Observed Parking Demand

	Nearest Traffic Generator	Parking Available	Friday, April 27, 2018		Saturday, April 28, 2018			
			6:00 p.m.		3:00 p.m.		8:00 p.m.	
			Occupied	Vacant	Occupied	Vacant	Occupied	Vacant
Zone 1	Retail	36	21	15	16	20	26	10
Zone 2	Piccolino	53	35	18	8	45	45	8
Zone 3	Ballpark Pizza	36	15	21	10	26	13	23
Zone 4	Ballpark Pizza	8	8	0	7	1	6	2
Zone 5	Ballpark Pizza/Retail	76	21	55	22	54	11	65
Zone 6	Ballpark Pizza	28	21	7	23	5	25	3
Zone 7	Retail	9	4	5	0	9	2	7
Zone 8	Retail	37 ¹	7	30	5	32	0	37
Total Demand for Remaining Uses		283	132		91		128	

Note: Table provides a summary of parking demand during peak periods (3:00 p.m. on Saturdays is a peak hour for Ballpark Pizza). Hourly surveys are included as an attachment.

¹ Zone 8 is proposed to be modified by the City Lane project reducing supply to 9 parking spaces.

The following presents a summary of the observed parking demand for the commercial buildings along Los Alisos Boulevard in the existing condition.

Building 1 - 7,800-Square-Foot Building

This building has two occupied suites. Massage Envy occupies 3,300 sf, and Karate Fitness occupies 1,500 sf. Anticipated parking demand according to MVMC parking rates is 27 spaces. Observed parking demand for these two uses appears that it could be lower than anticipated by MVMC rates. The total parking demand in adjacent Zones 7 and 8 (and shared Zone 5) was 19 when the first observations were conducted and 32 when the second observations were conducted. If half of the shared Zone 5 parking demand were for Building 1, then the peak parking demand would be for 21 parking spaces.

Building 2 - Ballpark Pizza

Ballpark Pizza parking demand could be satisfied by spaces in Zones 3, 4, 5, and 6. Although some of the parked vehicles in Zone 5 could be attributed to the 7,800 sf building, LSA believes the retail contribution to demand to be low given the high vacancy in Zone 7 adjacent to the 7,800 sf building.

Attributing all of the parking demand in Zone 5 to Ballpark Pizza presents a conservative analysis of its parking demand.

Ballpark Pizza experiences two peak periods of parking demand. One peak occurs during typical dinner hours. Ballpark Pizza also experiences a high parking demand on Saturday afternoons. Anecdotal evidence suggests this demand is due to weekend sports teams.

While conducting the second set of parking surveys, the data collection company confirmed the parking areas used by the restaurant's patrons through direct observation of where people walked after parking their car. Parking demand within the parking areas identified for the restaurant was, however, higher during the second set of surveys. Parking demand on Saturday afternoon could be as high as 62 parking spaces (51 spaces when first surveyed [Zone 3: 14, Zone 4: 7, Zone 5: 11, and Zone 6: 19 on Saturday], and 62 spaces during the second survey [Zone 3: 10, Zone 4: 7, Zone 5: 22, and Zone 6: 23 on Saturday]). This was roughly equivalent to the highest observed dinner parking demand, which was for 65 parking spaces on Friday night (50 spaces when first surveyed). This is higher than the parking demand estimated by the MVMC (i.e., 36 spaces). The observed parking rate was approximately 1 space per 60 sf. Again, shopping centers can share parking spaces between uses that experience their highest demand at different times.

Building 3 - Piccolino Restaurant

Zone 2 provides the closest parking spaces to Piccolino restaurant. Peak parking demand for the restaurant was observed on Saturday evening. At that time, parking demand for 48 spaces was observed when first surveyed and slightly lower (45 spaces) when resurveyed. This is slightly higher than the parking demand estimated by the MVMC (i.e., 40 spaces). The observed parking rate was approximately 1 space per 80 sf. It should be noted that within a shopping center, parking spaces can be shared between uses that experience their highest demand at different times.

Building 4 - 11,375-Square-Foot Building

Zone 1 provides the closest parking spaces for this building. The observed peak parking demand was for 28 spaces on Saturday evening when first surveyed, and slightly lower (26 spaces) when resurveyed. At this time, the Shabu restaurant and the fitness studio were open. These suites are 1,300 sf each. The anticipated parking demand based on the MVMC is 21 parking spaces (1,300 sf x 1 space/100 sf for restaurant + 1,300 sf x 1 space/150 sf for health club). However, the fitness studio operates classes rather than a typical come-and-go format, which can concentrate parking demand. Vacant spaces remained in Zone 1 and in Zone 2; it is believed that parking demand did not mix as customers would have been able to park in a space nearest their destination. Parking demand for future uses in the vacant suites is addressed in the following section of this report.

Total Demand for Land Uses to Remain after Proposed Project

The project would retain the four buildings adjacent to Los Alisos Boulevard. On Friday evening, the peak parking demand for the buildings that would remain with the proposed project was 132 parking spaces when resurveyed. On Saturday evening, the peak parking demand for the remaining buildings was 128 parking spaces. Only Ballpark Pizza had higher parking demand on Saturday afternoon than Saturday evening. For all of the remaining buildings, total parking demand is higher on Saturday evening than Saturday afternoon.

FUTURE PARKING DEMAND

As shown in Table A, the anticipated parking demand for the vacant suites is 49 parking spaces. Table A also shows that the anticipated parking demand for a health club use in a 1,500 sf suite (i.e., Karate Fitness) is 10 parking spaces. Table C shows that the observed parking demand of the existing uses remaining after the proposed project is 132 parking spaces. If two restaurant uses and three retail uses occupy the vacant suites, and the 1,500 sf fitness studio is open in the evenings and generates its anticipated parking demand, then the future parking demand for the remaining buildings is estimated to peak at 191 parking spaces (observed demand for 132 parking spaces, plus 49 parking spaces for currently vacant suites, plus 10 parking spaces for the 1,500 sf fitness studio's potentially higher demand). This estimated parking demand is lower than the MVMC parking requirement of 210 parking spaces. The future site plan shown on Figure 2 indicates a total of 222 parking stalls for commercial/retail uses, of which 10 spaces may be used by City Lane residents/guests. The remaining 212 parking spaces exclusively for the commercial center would be sufficient to accommodate the 191 space estimated future parking demand.

CONCLUSION

The proposed project would demolish most of the Mission Foothills Shopping Center for the construction of single-family and multifamily residential. Four of the Mission Foothills Shopping Center commercial/retail buildings would be retained after construction of the proposed project. The residential portion of the project is anticipated to contain its parking demand on site and the remaining commercial buildings would have an independent parking lot with 222 parking spaces. City Lane residents/guests may use 10 of these spaces.

LSA surveyed the existing parking demand for the Mission Foothills Shopping Center to determine whether the MVMC parking requirement for 210 parking spaces was an accurate estimate of parking demand. Based on observed parking demand for the existing uses to remain after the proposed project and potential parking demand for the vacant suites, LSA estimates peak parking demand for 191 parking spaces. The proposed parking supply can accommodate the projected future parking demand.

Sincerely,

LSA Associates, Inc.



Arthur Black
Associate

Attachments: A – Figures
B – Parking Accumulation Survey Results

ATTACHMENT A

FIGURES

Figure 1: Existing Site and Utilization

Figure 2: Future Site Plan

Figure 3: Parking Zones

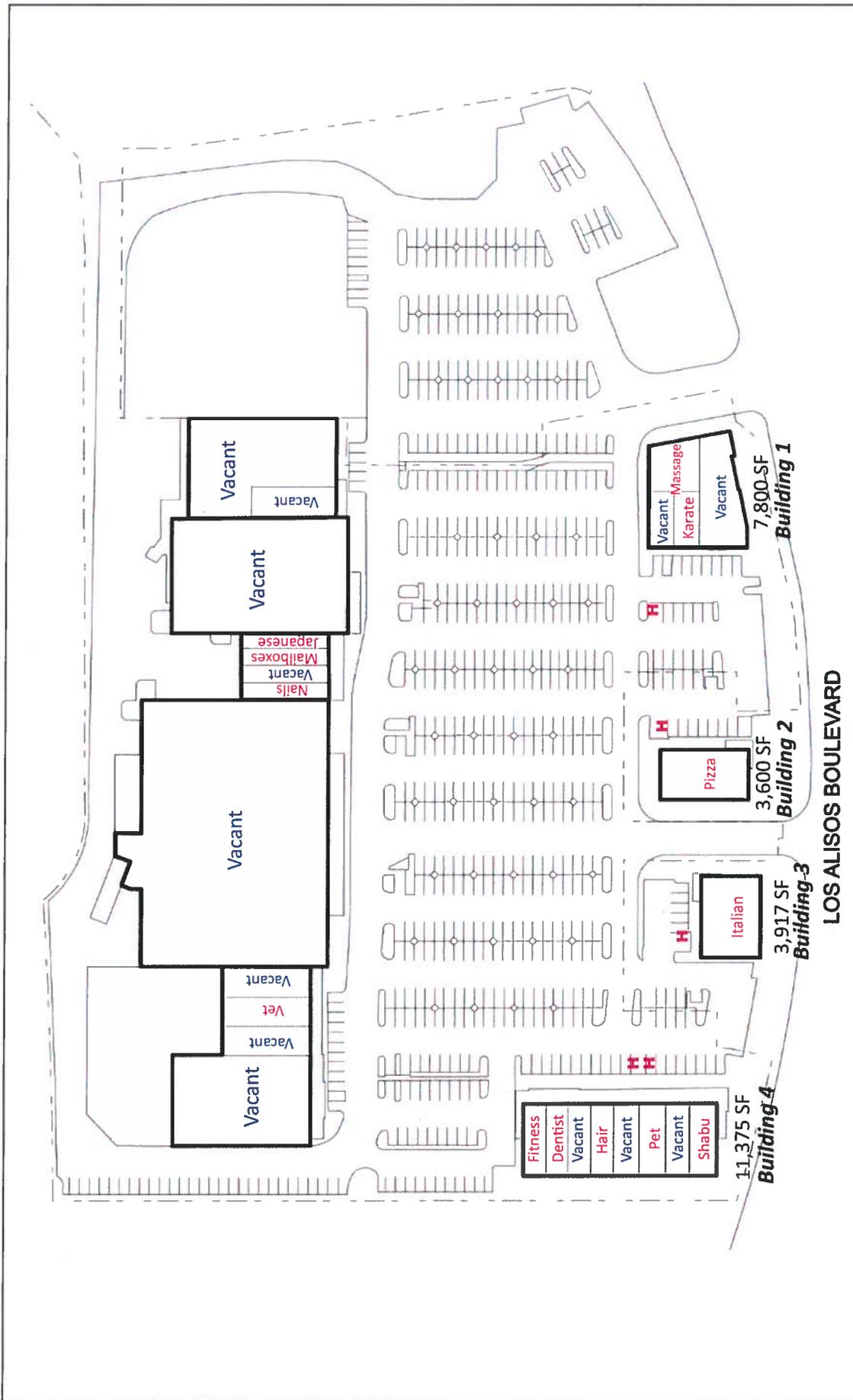


FIGURE 1

LSA



LEGEND

H Accessible Parking Space

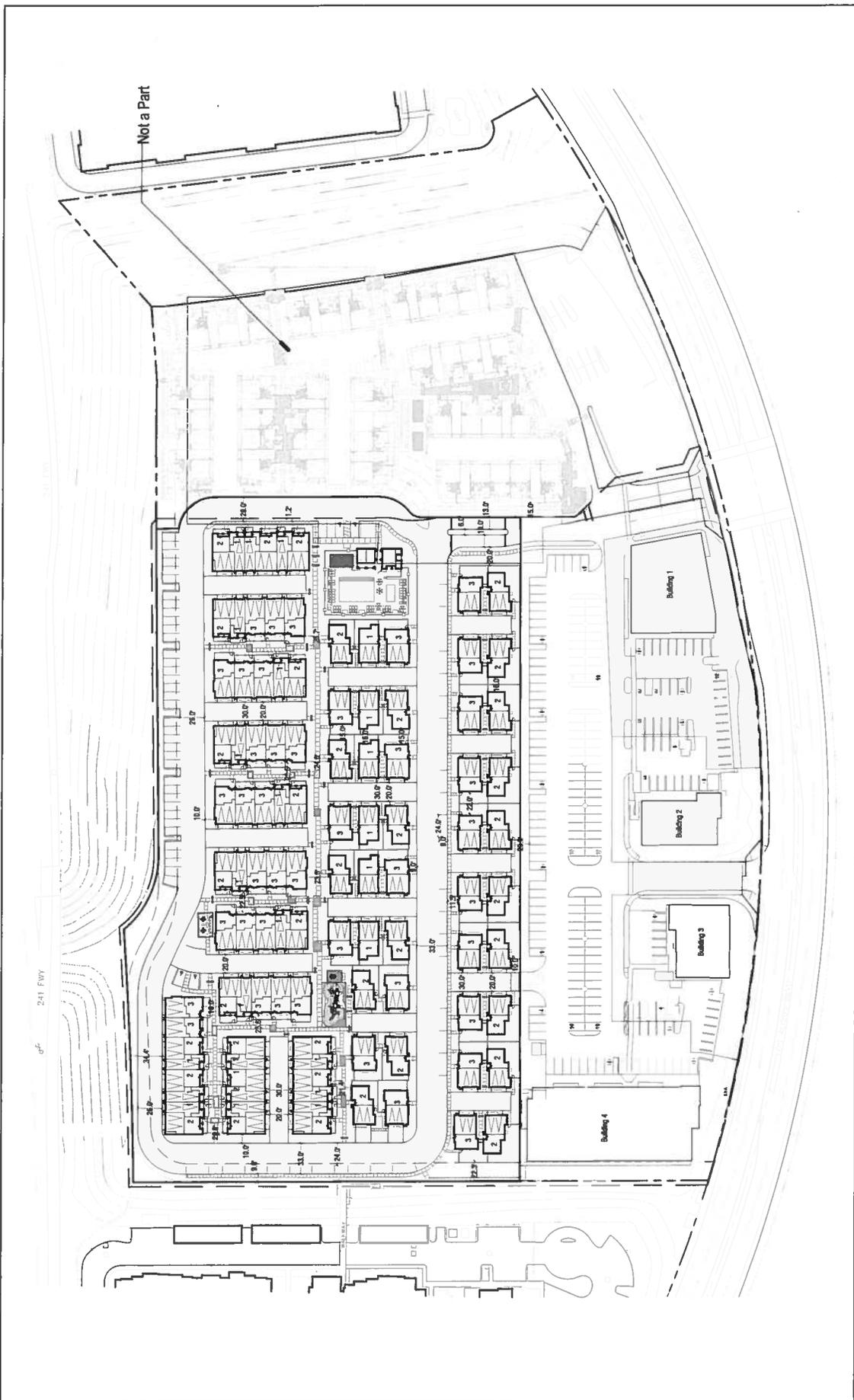


FIGURE 2

LSA



SOURCE: WHA

I:\SH01704\G\Future Site Plan.cdr (5/2/2019)

Mission Foothills Center
Future Site Plan

ATTACHMENT B

PARKING ACCUMULATION SURVEY RESULTS

Prepared by National Data & Surveying Services
Parking Study

Location: 28791 Los Allison Blvd
 City: Mission Viejo, CA

Day: Friday
 Date: 12/8/2017

TIME	Zone 1		Zone 2		Zone 3		Zone 4		Zone 5		Zone 6		Zone 7		Zone 8		Subtotal Zones 1-8		Zone 9		Zone 10		Zone 11		Drop off/ Pick up area	Grand Total	Occupancy %
	Reg	HC	Reg	HC	Reg	HC	Reg	HC	Reg	HC																	
Species	34	2	52	1	36	1	7	1	76	1	27	1	9	9	37	4	10	4	29	2	262	12	3	3	601	-	
4:00 PM	21	0	19	0	4	0	5	0	7	0	7	0	1	1	4	4	4	68	4	4	0	4	0	0	162	26.95%	
4:30 PM	21	0	18	0	4	0	5	0	7	0	7	0	1	1	4	4	67	4	4	0	4	0	0	161	26.79%		
5:00 PM	27	0	21	0	6	0	5	0	11	0	7	0	2	2	4	4	78	4	4	0	4	0	0	182	30.28%		
5:30 PM	21	0	36	0	6	0	6	1	9	1	18	0	1	1	5	5	103	5	2	0	2	0	0	235	39.10%		
6:00 PM	23	0	40	0	10	0	5	1	14	1	20	0	1	1	4	4	118	4	4	0	2	0	0	261	43.43%		
6:30 PM	25	0	42	0	10	0	4	0	12	0	19	0	1	1	4	4	117	4	4	0	2	0	0	258	42.93%		
7:00 PM	27	0	39	1	10	0	4	0	9	1	18	0	1	1	4	4	113	4	4	0	2	0	0	249	41.43%		
7:30 PM	27	0	40	1	7	0	4	0	9	0	14	0	1	1	3	3	105	3	2	0	2	0	0	234	38.94%		
8:00 PM	26	0	35	1	6	0	5	0	8	0	15	0	1	1	2	2	99	2	2	0	2	0	0	216	35.94%		
8:30 PM	24	0	33	0	5	0	4	0	6	0	13	0	1	1	2	2	88	2	2	0	2	0	0	193	32.11%		
9:00 PM	22	0	28	0	5	0	4	0	4	0	10	0	1	1	2	2	76	2	2	0	2	0	0	166	27.62%		

Parking Study

Location: 28791 Los Allison Blvd
 City: Mission Viejo, CA

Day: Saturday
 Date: 12/9/2017

TIME	Zone 1		Zone 2		Zone 3		Zone 4		Zone 5		Zone 6		Zone 7		Zone 8		Subtotal Zones 1-8		Zone 9		Zone 10		Zone 11		Grand Total	Occupancy %	
	Reg	HC	Reg	HC	Reg	HC	Reg	HC	Reg	HC			Drop off/ Pick-up area														
Spacers	34	2	52	1	36	1	7	1	76	1	27	1	9	9	37	1	59	10	0	0	29	2	262	12	3	601	-
12:00 PM	21	0	10	0	4	0	3	0	10	0	10	0	0	0	1	0	5	0	0	0	4	0	12	0	0	75	12.48%
12:30 PM	16	0	16	1	4	0	4	0	9	0	11	0	0	0	2	0	63	0	0	0	4	0	10	0	0	77	12.41%
1:00 PM	16	0	18	1	4	0	1	0	8	0	6	0	0	0	2	0	56	0	0	4	0	10	0	0	70	11.65%	
1:30 PM	20	0	16	0	3	0	5	0	10	0	7	0	0	0	3	0	64	0	0	4	0	9	0	0	77	12.41%	
2:00 PM	20	0	18	0	8	0	5	0	8	0	9	0	0	0	3	0	71	0	0	4	0	11	0	0	86	14.31%	
2:30 PM	21	0	15	0	14	0	7	0	11	0	19	0	0	0	2	0	89	0	0	4	0	12	0	0	105	17.47%	
3:00 PM	21	0	15	0	12	0	5	0	10	0	22	0	0	0	2	0	87	0	0	4	0	10	0	0	101	16.41%	
3:30 PM	21	0	15	0	11	0	2	0	11	0	10	0	0	0	2	0	72	0	0	4	0	9	0	0	85	14.44%	
4:00 PM	22	0	16	0	4	0	4	0	9	0	9	0	0	0	2	0	66	0	0	4	0	4	0	0	78	12.58%	
4:30 PM	21	0	20	0	8	0	7	0	8	0	8	0	0	0	3	0	75	0	0	4	0	16	0	0	95	15.81%	
5:00 PM	22	0	27	0	7	0	7	0	8	0	8	0	0	0	2	0	81	0	0	4	0	18	0	0	103	17.44%	
5:30 PM	20	0	38	0	8	0	4	0	7	0	5	0	0	0	2	0	84	0	0	3	0	14	0	0	101	16.41%	
6:00 PM	24	0	46	0	8	0	5	0	5	0	7	0	0	0	0	0	95	1	0	3	0	18	0	0	117	19.47%	
6:30 PM	28	0	47	1	10	0	7	0	5	0	9	0	0	0	0	0	107	0	0	3	0	19	0	0	129	21.46%	
7:00 PM	23	0	44	1	14	0	7	0	4	0	8	0	0	0	0	0	101	0	0	3	0	19	0	0	123	20.47%	
8:00 PM	22	0	38	1	12	0	6	0	5	0	7	0	0	0	0	0	91	0	0	3	0	14	0	0	108	17.97%	
8:30 PM	21	0	33	1	9	0	5	0	4	0	5	0	0	0	0	0	78	0	0	4	0	13	0	0	95	15.81%	
9:00 PM	19	0	27	0	8	0	4	0	1	0	1	0	0	0	0	0	60	0	0	5	0	13	0	0	78	12.88%	
9:30 PM	15	0	22	0	0	0	0	0	0	0	3	0	0	0	0	0	40	0	1	5	0	10	0	0	56	9.32%	
10:00 PM																											

Mission Foothills Center
 Los Alisos Boulevard
 Mission Viejo, CA
 Friday, April 27, 2018

	Inv.	17:00	17:30	18:00	18:30	19:00	19:30	20:00	20:30	21:00
Zone 1	36	22	21	21	19	18	18	17	17	17
Zone 2	53	20	27	35	39	42	36	29	23	24
Zone 3	36	6	11	15	13	14	14	12	11	10
Zone 4	8	6	6	8	7	7	6	5	6	7
Zone 5	76	12	18	21	23	24	26	26	22	19
Zone 6	28	21	21	21	20	20	15	12	11	8
Zone 7	9	8	5	4	4	3	2	1	1	1
Zone 8	37	6	6	7	5	3	4	4	3	3
Subtotal Zones 1-8	101	115	115	132	130	131	121	106	94	89
Zone 9	10	0	0	1	1	1	1	1	1	1
Zone 10	30	3	3	3	3	2	2	3	3	4
Zone 11	165	18	15	13	22	29	30	29	24	19
TOTAL OCCUPANCY	488	122	133	149	156	163	154	139	122	113
TOTAL %	-	25%	27%	31%	32%	33%	32%	28%	25%	23%

Counts Unlimited, Inc.
 P.O. Box 1178
 Corona, CA 92878
 951-268-6268

Mission Foothills Center
 Los Alisos Boulevard
 Mission Viejo, CA
 Saturday, April 28, 2018

	Inv.	12:00	12:30	13:00	13:30	14:00	14:30	15:00	15:30	16:00	16:30	17:00	17:30	18:00	18:30	19:00	19:30	20:00	20:30	21:00
Zone 1	36	15	14	13	13	13	15	16	16	16	17	18	20	21	23	26	26	26	22	20
Zone 2	53	6	8	9	9	9	8	8	11	13	15	18	19	21	24	38	45	45	41	32
Zone 3	36	5	8	9	6	5	8	10	11	12	12	12	15	16	13	13	12	13	14	11
Zone 4	8	6	6	7	6	5	7	7	6	5	5	5	7	7	6	6	6	6	5	3
Zone 5	76	11	12	14	17	18	21	22	19	18	18	18	13	12	12	10	10	11	9	7
Zone 6	28	15	19	20	20	15	17	23	21	15	24	26	19	18	25	23	21	25	23	17
Zone 7	9	0	1	1	0	0	0	0	0	0	1	2	3	4	1	2	2	2	2	3
Zone 8	37	4	4	5	7	6	5	5	4	5	3	3	3	3	1	1	1	0	0	1
Subtotal Zones 1-8	10	62	72	78	78	71	81	91	88	84	95	102	99	102	102	104	115	128	116	94
Zone 9	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Zone 10	30	0	1	1	1	3	2	1	1	1	1	1	1	1	1	1	2	3	3	3
Zone 11	165	11	12	14	11	11	11	12	14	15	13	14	14	16	16	17	15	15	14	13
TOTAL OCCUPANCY	488	73	85	93	90	85	94	104	103	100	109	117	114	119	119	122	132	146	133	110
TOTAL %	-	15%	17%	19%	18%	17%	19%	21%	21%	20%	22%	24%	23%	24%	24%	25%	27%	30%	27%	23%

***No patrons for Balpark Pizza parked in Zone 11 during the parking survey

Counts Unlimited, Inc.
 P.O. Box 1178
 Corona, CA 92678
 951-266-6268

the opportunity to educate interested seniors. Social service caseworkers will also advise elderly homeowners of the reverse mortgage programs.

Removing Governmental Constraints

Under current law, the Mission Viejo Housing Program must include the following:

Address and, where appropriate and legally possible, remove governmental constraints to the maintenance, improvement, and development of housing.

14. Efficient Processing

Residential projects in Mission Viejo generally receive concurrent processing, thereby shortening review time and minimizing related holding costs. Nonetheless, the evaluation and review procedure contributes to the cost of housing in that holding costs incurred by developers are ultimately reflected in the unit's selling price. In order to streamline review times for affordable housing projects, the City will follow the system outlined below.

This system will prioritize affordable housing applications in the following sequence:

- First, applications which require a Housing Element in compliance with State law such as the State's Rental Housing Construction Program and Federal HOME Program.
- Second, applications that meet all other City requirements and are requesting a density bonus in exchange for a minimum of 20% affordable housing units.
- Third, all other applications ranked in terms of the percentage of very-low- and low-income housing units to be included in the proposed development.

→ 15. Development Fees

Development fees have been set at a level necessary to cover the costs to the City and to make appropriate contributions to the community. However, these fees contribute to the cost of housing, and may constrain the development of low- and moderate-income units. For senior citizen and affordable housing projects, the City shall explore a possible fee waiver or subsidy on a case-by-case basis. Based on the outcome of this review, the City may modify fees for affordable and senior housing projects. In addition, the City will encourage the school districts to reduce or eliminate school impact fees charged to affordable senior housing developments. With regard to City projects, the payment of fees may be deferred until loan proceeds are obtained or revenues from project proceeds are received.

Promoting Equal Housing Opportunity

In order to make adequate provision for the housing needs of all economic segments of the community, the housing program must include actions that accomplish the following:

- Promote housing opportunities for all persons regardless of race, religion, sex, family size, marital status, ancestry, national origin, color, age or physical disability.

More generally, this program component entails ways and means to promote equal housing opportunity.

16. Equal Housing Opportunity Services

The City contracts with the Fair Housing Foundation (FHF) to establish, maintain and further fair housing choices. City staff refers fair housing cases to the Fair Housing Foundation as they are brought to the

In addition, the General Plan contains two mixed-use designations which allow residential development: Commercial Neighborhood/Community Facility/Residential 14 and Office Professional/Residential 30/Business Park. These mixed-use designations allow any use category to exist individually on a site, or to be combined with one or both of the other categories in a mixed-use project.

The City of Mission Viejo General Plan is not considered to be a constraint to the goals and policies of the Housing Element as the City’s zoning is consistent with the General Plan and adequate sites with appropriate densities have been identified and zoned to facilitate construction commensurate with the City’s fair share of new housing units during the planning period (see Section 3 – Resources and Opportunities beginning on page 29).

 **b. Zoning Designations**

The City regulates the type, location, density, and scale of residential development through the Development Code, a part of the City’s Municipal Code. The Development Code, which contains the City’s zoning regulations, serves to implement the General Plan and is designed to protect and promote the health, safety, and general welfare of residents. The Development Code also helps to preserve the character and integrity of existing neighborhoods. The Development Code sets forth residential development standards for each zoning district.

The five zoning districts that allow residential units as a permitted use are as follows:

- RPD 3.5** Residential Planned Development 3.5
- RPD 6.5** Residential Planned Development 6.5
- RPD 14** Residential Planned Development 14
- RPD 30** Residential Planned Development 30
- RPD 30A** Residential Planned Development By-Right (Affordable)

A summary of the residential development standards for these zoning districts is provided in Table H-28. These development standards continue to be viewed as reasonably necessary to protect the public health, safety and welfare and maintain the quality of life, and are not considered to be constraints on the development of housing.

**Table H-28
Residential Development Standards**

Development Standard	Zoning District Designations			
	RPD 3.5	RPD 6.5	RPD 14	RPD 30 RPD 30A
Maximum Density (du/ac) ¹	3.5	6.5	14.0	30.0
Minimum Lot Area (sq. ft.)	5,000	5,000	5,000	5,000
Minimum Front Yard (ft.)	20	20	30	30
Minimum Side Yard (ft.)	5	5	10	15
Minimum Rear Yard (ft.)	10	10	30	30
Maximum Lot Coverage (%)	60	60	50	50
Maximum Building Height (ft.)	35 ²	35 ²	35 ²	35 ²

Source: City of Mission Viejo Zoning Ordinance

1. Density expressed in dwelling units per gross acre.
2. 35 feet or two stories whichever is less. In the RPD 30 and RPD 30A District, this provision may be modified by the Planning and Transportation Commission as part of a Planned Development Permit application up to a maximum height of 45 feet or 3-stories.

The City's Development Code was adopted in October 1998 and has been reviewed and amended over time to ensure that it remains current and consistent with state law, and that it continues to facilitate development. Amendments to the Development Code included updates for reasonable accommodation, density bonus, emergency shelters, and development and parking standards for second units. City staff meets regularly with housing developers and routinely engages in discussion regarding the City Development Code standards. The City's Development Code also allows for a minor exception process to allow adjustments to the Code of up to 15% for setbacks, height, parcel dimensions and modifications of up to 30% for on-site circulation and parking. These provisions address special hardship circumstances and help facilitate development while avoiding the administrative requirements of seeking a variance. The City's standards are not generally seen as an obstacle to affordable housing development. Several affordable housing development projects have been approved in recent years, and some have been granted a density bonus or modification to development standards such as building height in order to enhance project feasibility. In addition, the Heritage Villas affordable senior project was approved with one parking space per unit based on a study analyzing parking need at similar projects.

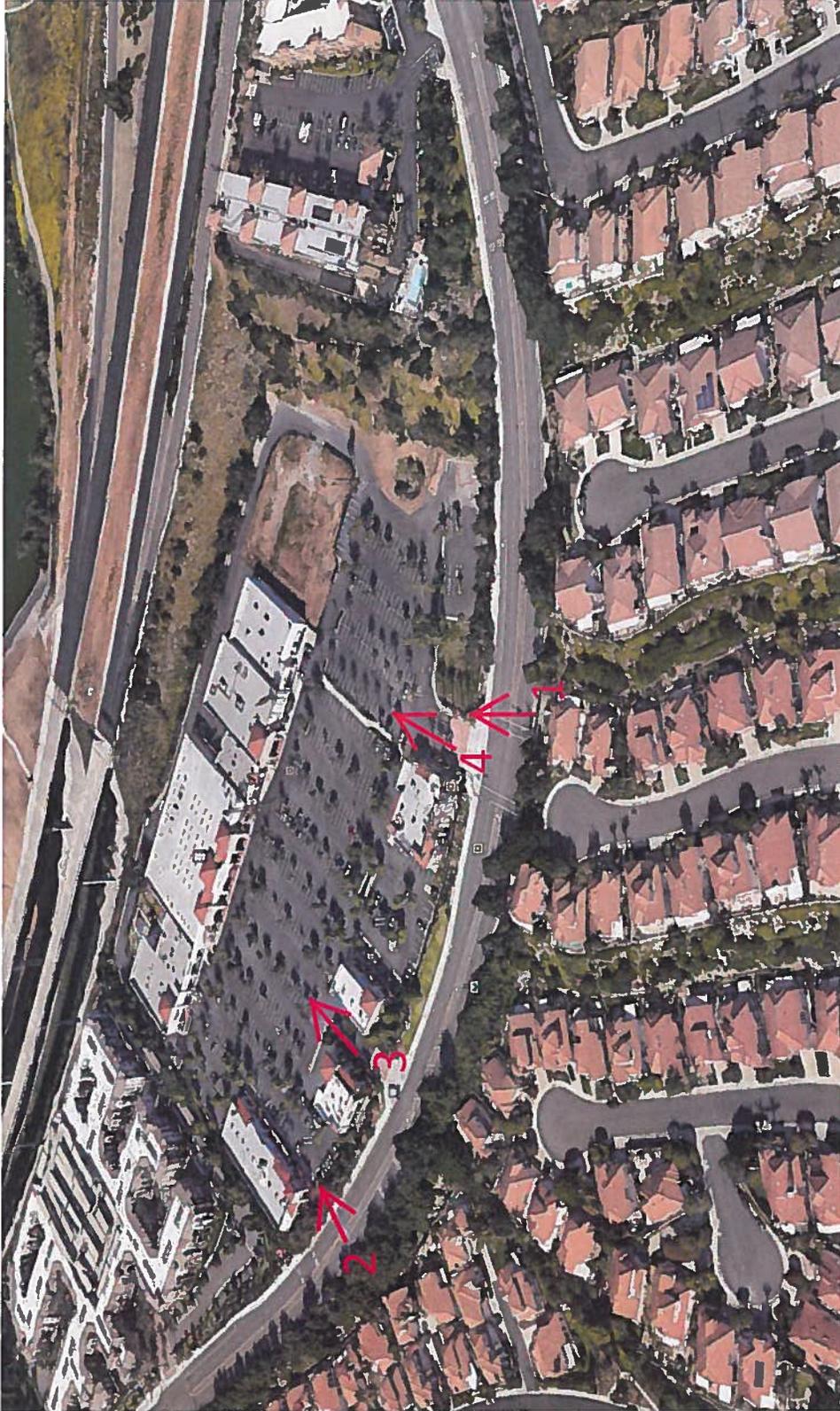
As stated in the Development Code, the standards listed above shall apply unless modified by a Planned Development Permit issued by the Planning and Transportation Commission. The Planned Development Permit process allows nontraditional or unique site plan design if found appropriate by the Planning and Transportation Commission. The development standards were analyzed to ensure that the maximum housing densities for a zone could be attained. Results from the analysis indicated that the maximum densities could be achieved.

Densities range from 3.5 dwelling units per gross acre in the RPD 3.5 District to a maximum of 30.0 units per gross acre in the RPD 30 District. In addition, state law allows a potential density bonus of up to 35%.

Three additional zoning districts, the Commercial Community District (CC) District, Commercial Highway District (CH) and the Office/Professional District (OP) allow congregate care/senior housing when combined with the Senior Housing Overlay Zone (SH). All senior housing developments are subject to a conditional use permit.

A summary of the residential development permitted by the City's Zoning Ordinance is provided in Table H-29.

The Development Code provides for a variety of housing types including single-family homes, multi-family (both rental and condominiums), manufactured housing, mobile homes, and second units. Low-income housing can be accommodated in all residential districts. Second units, which are a tool in facilitating affordable housing, are permitted by-right in any residential zone with an existing single-family home.



Mission Foothills View Analysis Location Map



Before



After



Before



After



Before



After



Before



After

INTRODUCTION

This section comprises the Comments and Responses of the Final Initial Study/Mitigated Negative Declaration (IS/MND) for the proposed Mission Foothills Residential Project (project) in Mission Viejo, California. The purpose of this document is to respond to all comments received by the City of Mission Viejo (City) regarding the environmental information and analyses contained in the Draft IS/MND.

As required by the *State California Environmental Quality Act (CEQA) Guidelines*, Section 15073, a Notice of Intent (NOI) to adopt a Mitigated Negative Declaration (MND) was sent to various public agencies and interested individuals concerned with the project. In addition, the NOI was filed with the Orange County Clerk on April 17, 2019.

The Draft IS/MND was circulated for public review for a period of 21 days, from April 18, 2019 through May 8, 2019. Copies of the Draft IS/MND were made available for public review at the City Community Development Department, the Mission Viejo Library, and on the Internet (<https://cityofmissionviejo.org/departments/community-development/planning>).

Comments were accepted for a period of 21 days in order to ensure adequate time for residents and agencies to comment on the Draft IS/MND. The City, as the Lead Agency, is required to consider agency and public comments on a CEQA document as part of the decision process to approve a project. Although preparation of responses to comments received on an IS/MND is not required by CEQA, responses have been prepared.

No changes have been made to the information contained in the Draft IS/MND as a result of the responses to comments; therefore, no new information has been added that would require recirculation of the document.

Together, the responses to comments, the Draft IS/MND, and the Mitigation Monitoring and Reporting Program (MMRP) are collectively referred to as the Final IS/MND. The Final IS/MND will be submitted to the City Planning and Transportation Commission for public hearing on May 13, 2019. Upon approval by the City Planning and Transportation Commission, the Final IS/MND will be submitted to City Council, which will have the final decision on whether to adopt the Final IS/MND and approve the proposed project.

COMMENTS RECEIVED

The following is a list of the written comments received on the Draft IS/MND prior to the close of the public comment period or immediately thereafter. Each comment letter received is indexed with a number below. Responses to each of the comment letters are provided on the following pages. The comment index numbers are provided in the upper right corner of each comment letter, and individual points within each letter are numbered along the right-hand margin of each letter. The City's responses immediately follow each letter and are referenced by index numbers in the margins.

Comment Code	Commenter	Date Received
Local Agencies		
L-1	Orange County Fire Authority (OCFA)	May 6, 2019
L-2	Saddleback Valley Unified School District (SVUSD)	May 6, 2019
L-3	Orange County Public Works (OCPW)	May 7, 2019



ORANGE COUNTY FIRE AUTHORITY

P. O. Box 57115, Irvine, CA 92619-7115
1 Fire Authority Way, Irvine, CA 92602

Brian Fennessy, Fire Chief • www.ocfa.org • (714) 573-6000 / Fax (714) 368-8843

May 6, 2019

City of Mission Viejo
Planning & Economic Development
Attn: Larry Longenecker, AICP
200 Civic Center Plaza
Mission Viejo, CA 92691

Ref: Notice of Intent (NOI) to Adopt a Mitigated Negative Declaration (MND) for the Mission Foothills Residential Project

Dear Larry Longenecker:

Thank you for the opportunity to review the subject document. The Orange County Fire Authority (OCFA) provides fire protection and emergency medical services response to the project area. Services include: structural fire protection, emergency medical and rescue services, education and hazardous material response. OCFA also participates in disaster planning as it relates to emergency operations, which includes high occupant areas and schools sites and may participate in community disaster drills planned by others. Resources are deployed based upon a regional service delivery system, assigning personnel and equipment to emergency incidents without regard to jurisdictional boundaries. The equipment used by the department has the versatility to respond to both urban and wildland emergency conditions. The following are our comments:

L-1-1

We believe this project will have Less Than Significant Impact with the following requirements :

- Prior to approval of any subdivision or comprehensive plan approval for a project, the designated site developer may be required to enter into a Secured Fire Protection Agreement with the Orange County Fire Authority.
 - This Agreement shall specify the developer's pro-rata fair share funding of capital improvements necessary to establish adequate fire protection facilities and equipment, and/or personnel. Said agreement shall be reached as early as possible in the planning process, preferably for each phase or land use sector of the project, rather than on a parcel by parcel basis.
- The project is subject to review by the City and the OCFA for various construction document plan checks for the applicable fire life safety codes and regulations. The project will be subject to the current editions of the CBC, CFC and related codes.
- Structures of this size and occupancy are required to have automatic fire sprinkler systems designed per NFPA 13 as required in the current CBC, CFC.
- A water supply system to supply fire hydrants and automatic fire sprinkler systems is required. Fire flow and hydrant spacing shall meet the minimums identified in the codes. Please refer to

L-1-2

Serving the Cities of: • Aliso Viejo • Buena Park • Cypress • Dana Point • Irvine • Laguna Hills • Laguna Niguel • Laguna Woods • Lake Forest • La Palma • Los Alamitos • Mission Viejo • Placentia • Rancho Santa Margarita • San Clemente • San Juan Capistrano • Seal Beach • Santa Ana • Stanton • Tustin • Villa Park • Westminster • Yorba Linda • and Unincorporated Areas of Orange County

RESIDENTIAL SPRINKLERS AND SMOKE DETECTORS SAVE LIVES

the California Fire Code Appendix section. These tables are also located in OCFA Guideline B09, Attachment 23.

- Fire department access shall be provided all around the building
- If the project scope includes or requires the installation of traffic signals on public access ways, these improvements shall include the installation of optical preemption devices.
- Attic spaces shall be fully sprinklered.
- It is unlawful to occupy any portions of this apartment building until City building department and OCFA have conducted final inspection and sign off

L-1-2

In addition, we would like to point out that all standard conditions with regard to development, including water supply, built in fire protection systems, road grades and width, access, building materials, and the like will be applied to this project at the time of plan submittal. Thank you for providing us with this information. Please contact me at 714-573-6199 if you have any questions.

Sincerely, .


Tamera Rivers

L-1-3

Management Analyst
 Strategic Services Section
 tamyivers@ocfa.org
 714-573-6199

LOCAL AGENCY: Orange County Fire Authority (OCFA)

LETTER CODE: L-1

COMMENTER: Tamera Rivers, Management Analyst, Strategic Services Section

DATE RECEIVED: May 6, 2019

RESPONSE L-1-1

The comment thanks the City of Mission Viejo (City) for the opportunity to comment on the Mission Foothills Residential Project (project). The comment provides background information on OCFA, including a description of services provided.

The comment provides introductory statements and background information on OCFA. This comment does not contain any substantive comments or questions about the Draft Initial Study/Mitigated Negative Declaration (IS/MND) or analysis therein. This comment will be forwarded to the decision-makers for their review and consideration. No further response is necessary.

RESPONSE L-1-2

The comment states that the project would have a less than significant impact on fire protection services with incorporation of the following:

- Prior to approval of any subdivision or comprehensive plan for the project, the project Applicant may be required to enter into a Secured Fire Protection Agreement with OCFA;
- The project would be subject to final plan review by the City and OCFA. The project would be subject to the California Building Code (CBC) and the California Fire Code (CFC);
- The project would be required to install an automatic sprinkler system;
- The project would be required to install a water supply system to supply fire hydrants and automatic sprinkler systems. Fire flow and hydrant spacing would be required to meet minimum requirements as identified in the CBC and CFC;
- The project would be required to provide OCFA access around buildings;
- Project occupancy would not be permitted until the City and OCFA have conducted any final building inspections; and
- Standard conditions related to development, including water supply standards, built-in fire protection systems, road grades and width, access, and building materials, would be applied to the project at the time of plan submittal.

The project would incorporate the above conditions provided by OCFA as standard conditions of project approval. In addition, the City's resolution for approval of the proposed project includes a condition requiring OCFA approval of project plans. As indicated by the comment, incorporation of

these OCFA conditions would result in less than significant impacts with regard to fire protection services. This comment will be forwarded to the decision-makers for their review and consideration. No further response is necessary.

RESPONSE L-1-3

The comment letter concludes by thanking the City for the opportunity to comment on the project and provides contact information.

The comment does not contain any substantive comments or questions about the environmental analysis or conclusions contained in the Draft IS/MND. No further response is required.



Board of Education

Suzie R. Swartz, President · Dr. Edward Wong, Vice President ·
Amanda Morrell, Clerk · Greg Kunath, Member · Barbara Schulman, Member

Crystal Turner, Ed.D
Superintendent

Larry Longenecker, AICP
City of Mission Viejo
200 Civic Center
Mission Viejo, CA 92691

Via Email: llongenecker@cityofmissionviejo.org

Subject: Response to Notice of Intent to Adopt a Mitigated Negative Declaration for the Mission Foothills Residential Project

Dear Mr. Longenecker:

Thank you for the opportunity to comment on the Mission Foothills Residential MND. The site is at 28731–28841 Los Alisos Boulevard, Mission Viejo, CA 9269 (just south of State Route 241). The project would demolish the largest building (99,500 sf) in the Mission Foothill shopping center and construct a 192,116 sf residential building with 105 residential units. It also includes a General Plan Amendment from Commercial Highway to Residential 30 and a change in zone from CH (Commercial Highway) and RPD 30A to RPD 30 (Residential Planned Development) to allow for the development.

L-2-1

As acknowledged in the Mitigated Negative Declaration, the project is located within the Saddleback Valley Unified School District and would generate about 44 students that would attend district schools. As stated on 4-98 of the Initial Study the residential project would be served by the following schools.

- Elementary School: - Melinda Heights Elementary School (grades K - 6)
- 21001 Rancho Trabuco, Rancho Santa Margarita, CA 92688
- 0.8 mile from the development site (north of SR 241)
- 23 students
- Middle School: - Rancho Santa Margarita Intermediate School (grades 7 - 8)
- 21931 Alma Aldea, Rancho Santa Margarita, CA 92688
- 2.4 miles from the development site (south of SR 241)
- 7 students
- High School: - Trabuco Hills High School (grades 9 - 12)
- 27501 Mustang Run, Mission Viejo, CA 92691
- 1.1 miles from the development site (south of SR 241)
- 14 students

L-2-2

The MND acknowledged on page 4-100 that new residential units will be required to pay the school facility developer fee in place at the time building permits are issued.

Although the MND discussed the enrollment and capacity at District schools as a whole, there was no discussion or impact analysis for the three schools that would serve the students from the new development. We understand that this will not change the less than significant finding.

L-2-3

The Saddleback Valley USD has no other comments on the Daft Mitigated Negative Declaration, but requests that the City continue to notify the District of all actions on this project and give the District an opportunity to review future environmental documentation.

Our mission is to provide all students with a high-quality education in a safe and nurturing environment so they can reach their full potential and to become contributing and compassionate citizens in the world community. It is critical that the District remain involved in the planning process.

We look forward to working cooperatively with the City to create the best environment for our students and staff and the larger community. Please contact the undersigned if you have any questions or require additional information.

L-2-4

Sincerely,



Stella Escario-Doiron

Chief of Facilities, Maintenance, Operations, Construction & Transportation

c: file, Connie Cavanaugh, Assistant Superintendent of Business Services

LOCAL AGENCY: Saddleback Valley Unified School District (SVUSD)

LETTER CODE: L-2

COMMENTER: Stella Escario-Doiron, Chief of Facilities, Maintenance, Operations, Construction, and Transportation

DATE RECEIVED: May 6, 2019

RESPONSE L-2-1

The comment thanks the City of Mission Viejo (City) for the opportunity to comment on the Mission Foothills Residential Project (project). The comment states information from the project description, including the project's location, the proposed demolition area, the proposed building area, and that the project would require a General Plan Amendment and zone change.

The comment provides introductory statements and correctly states information from the project description. This comment does not contain any substantive comments or questions about the Draft Initial Study/Mitigated Negative Declaration (IS/MND) or analysis therein. This comment will be forwarded to the decision-makers for their review and consideration. No further response is necessary.

RESPONSE L-2-2

The comment indicates that the Draft IS/MND correctly states that the project site is located within the Saddleback Valley Unified School District (SVUSD) and would generate approximately 44 students. In addition, the comment confirms that the project would be served by Melinda Heights Elementary School (Kindergarten through 6th grade), Rancho Santa Margarita Intermediate School (7th through 8th grade), and Trabuco Hills High School (9th through 12th grade). The comment also acknowledges that the project Applicant would be required to pay school developer fees at the time building permits are issued, as stated in the Draft IS/MND.

The comment reiterates information that is stated in the Draft IS/MND. This comment does not contain any substantive comments or questions about the Draft IS/MND or analysis therein. This comment will be forwarded to the decision-makers for their review and consideration. No further response is necessary.

RESPONSE L-2-3

The comment states that, although the IS/MND discusses SVUSD enrollment and capacity overall, the IS/MND does not discuss enrollment and capacity of the individual schools that would serve the students generated by the project. The comment states that this information would not change the significance findings in the IS/MND, and impacts would remain less than significant.

Although the comment refers to analysis contained in the Draft IS/MND, the comment confirms that the analysis related to schools is valid. This comment will be forwarded to the decision-makers for their review and consideration. No further response is necessary.

RESPONSE L-2-4

The comment states that SVUSD has no other comments on the Draft IS/MND. The comment requests that the City notify SVUSD of all actions on the project and provide SVUSD with the opportunity to comment on future environmental documentation for projects within Mission Viejo. The comment letter concludes with SVUSD's mission statement and provides contact information.

The comment is conclusory in nature. The City will provide SVUSD with a copy of this Final IS/MND at least 10 days prior to adoption of the document and approval of the project. The comment does not contain any substantive comments or questions about the environmental analysis or conclusions contained in the Draft IS/MND. No further response is required.



May 7, 2019

NCL-19-011

Larry Longenecker, AICP
 Planning & Economic Development Manager
 City of Mission Viejo
 200 Civic Center
 Mission Viejo, CA 92691

Subject: Intent to Adopt a Mitigated Negative Declaration for the Mission Foothills Residential Project

Dear Mr. Larry Longenecker:

The County of Orange has reviewed the Initial Study and the Mitigated Negative Declaration for the Mission Foothills Residential Project and has no comments at this time. We would like to be advised of further developments on the project. Please continue to keep us on the distribution list for future notifications related to the project.

If you have any questions regarding these comments, please contact Cindy Salazar at (714) 667-8870 in OC Development Services.

Sincerely,

Richard Vuong, Manager, Planning Division
 OC Public Works Service Area/OC Development Services
 300 North Flower Street
 Santa Ana, California 92702-4048
Richard.Vuong@ocpw.ocgov.com

L-3-1

LOCAL AGENCY: Orange County Public Works (OCPW)

LETTER CODE: L-3

COMMENTER: Richard Vuong, Manager, Planning Division

DATE RECEIVED: May 7, 2019

RESPONSE L-3-1

The comment states that OCPW has no comments on the Draft Initial Study/Mitigated Negative Declaration (IS/MND) for the Mission Foothills Residential Project (project). The comment requests that the City of Mission Viejo (City) notify OCPW of any future actions on the project. The comment letter concludes by providing contact information.

This comment does not contain any substantive comments or questions about the Draft IS/MND or analysis therein. This comment will be forwarded to the decision-makers for their review and consideration. No further response is necessary.

MITIGATION MONITORING AND REPORTING PROGRAM

MISSION FOOTHILLS RESIDENTIAL PROJECT MISSION VIEJO, CALIFORNIA



Submitted to:

City of Mission Viejo
200 Civic Center
Mission Viejo, California 92691

Prepared by:

LSA
20 Executive Park, Suite 200
Irvine, California 92614
(949) 553-0666

Project No. SHO1704.03

LSA

May 2019

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MITIGATION MONITORING AND REPORTING PROGRAM

MITIGATION MONITORING REQUIREMENTS

Public Resources Code (PRC) Section 21081.6 (enacted by the passage of Assembly Bill [AB] 3180) mandates that the following requirements shall apply to all reporting or mitigation monitoring programs:

- The public agency shall adopt a reporting or monitoring program for the changes made to the project or conditions of project approval in order to mitigate or avoid significant effects on the environment. The reporting or monitoring program shall be designed to ensure compliance during project implementation. For those changes which have been required or incorporated into the project at the request of a Responsible Agency or a public agency having jurisdiction by law over natural resources affected by the project, that agency shall, if so requested by the Lead Agency or a Responsible Agency, prepare and submit a proposed reporting or monitoring program.
- The Lead Agency shall specify the location and custodian of the documents or other material which constitute the record of proceedings upon which its decision is based.
- A public agency shall provide the measures to mitigate or avoid significant effects on the environment that are fully enforceable through permit conditions, agreements, or other measures. Conditions of project approval may be set forth in referenced documents which address required mitigation measures or in the case of the adoption of a plan, policy, regulation, or other project, by incorporating the mitigation measures into the plan, policy, regulation, or project design.
- Prior to the close of the public review period for a draft Environmental Impact Report (EIR) or Mitigated Negative Declaration (MND), a Responsible Agency, or a public agency having jurisdiction over natural resources affected by the project, shall either submit to the Lead Agency complete and detailed performance objectives for mitigation measures which would address the significant effects on the environment identified by the Responsible Agency or agency having jurisdiction over natural resources affected by the project, or refer the Lead Agency to appropriate, readily available guidelines or reference documents. Any mitigation measures submitted to a Lead Agency by a Responsible Agency or an agency having jurisdiction over natural resources affected by the project shall be limited to measures which mitigate impacts to resources that are subject to the statutory authority of, and definitions applicable to, that agency. Compliance or noncompliance by a Responsible Agency or agency having jurisdiction over natural resources affected by a project with that requirement shall not limit that authority of the Responsible Agency or agency having jurisdiction over natural resources affected by a project, or the authority of the Lead Agency, to approve, condition, or deny projects as provided by this division or any other provision of law.

MITIGATION MONITORING PROCEDURES

The mitigation monitoring and reporting program has been prepared in compliance with PRC Section 21081.6. The program describes the requirements and procedures to be followed by the City of Mission Viejo to ensure that all mitigation measures adopted as part of the proposed project would be carried out as described in the Initial Study/Mitigated Negative Declaration (IS/MND) prepared for the project. Table A lists each of the mitigation measures specified in the IS/MND and identifies the party or parties responsible for implementation and monitoring of each measure.

Table A: Mitigation and Monitoring Reporting Program

Mitigation Measures and Compliance Measures	Responsible Party	Timing for PDF or Mitigation Measure
4.1 Aesthetics		
The proposed project would not result in significant adverse impacts related to aesthetics. No mitigation is required.		
4.2 Agricultural Resources		
The proposed project would not result in significant adverse impacts related to agricultural resources. No mitigation would be required.		
4.3 Air Quality		
The proposed project would not result in significant adverse impacts related to air quality. No mitigation would be required.		
4.4 Biological Resources		
The proposed project would not result in significant adverse impacts related to biological resources. No mitigation would be required.		
4.5 Cultural Resources		
The proposed project would not result in significant adverse impacts related to cultural resources. No mitigation would be required.		
4.6 Energy		
The proposed project would not result in significant adverse impacts related to energy. No mitigation would be required.		
4.7 Geology and Soils		
Mitigation Measure GEO-1 is required to reduce potential project-related impacts related to geology and soils to a less than significant level.		
Mitigation Measure GEO-1: Preparation of and Compliance with the Recommendations in the Final Geotechnical Report.	Project Applicant/ Director of the Mission Viejo Community Development, or designee	Prior to the issuance of grading permits/Prior to the start of grading
<p>Applicant shall submit a Final Geotechnical Investigation prepared for the project site to the Director of the Mission Viejo Community Development Department, or designee, for review and approval. All grading operations and construction shall be conducted in conformance with the recommendations included in the Final Geotechnical Report. Grading plan review shall be conducted by the Director of the Mission Viejo Community Development Department, or designee, prior to the start of grading to verify that requirements specified in the Final Geotechnical Report have been appropriately incorporated into final project design. Design, grading, and construction shall be performed in accordance with the requirements of the City of Mission Viejo Building Code and the California Building Code (CBC) applicable at the time of grading, appropriate local grading regulations, and the recommendations of the geotechnical consultant as summarized in the Final Geotechnical Investigation for the project.</p>		
4.8 Greenhouse Gas Emissions		
The proposed project would not result in significant adverse impacts related to greenhouse gas emissions. No mitigation would be required.		

Table A: Mitigation and Monitoring Reporting Program

Mitigation Measures and Compliance Measures	Responsible Party	Timing for PDF or Mitigation Measure
4.9 Hazards and Hazardous Materials		
The proposed project would not result in significant adverse impacts related to hazards and hazardous materials. No mitigation would be required.		
4.10 Hydrology and Water Quality		
The proposed project would not result in significant adverse impacts related to hydrology and water quality. No mitigation would be required.		
4.11 Land Use and Planning		
The proposed project would not result in significant adverse impacts related to land use and planning. No mitigation would be required.		
4.12 Mineral Resources		
The proposed project would not result in significant adverse impacts related to mineral resources. No mitigation would be required.		
4.13 Noise		
Mitigation Measures NOI-1 through NOI-3 are required to reduce potential project-related impacts related to noise to a less than significant level.		
<p>Mitigation Measure NOI-1: Construction Noise. Prior to issuance of demolition permits, the General Manager of the City of Mission Viejo (City) Department of Building and Safety, or designee, shall verify that all construction plans include notes stipulating the following:</p> <ul style="list-style-type: none"> • Prohibit all noise-producing construction activities between the hours of 8:00 p.m. and 7:00 a.m. on weekdays and Saturdays. Construction shall not be allowed at any time on Sundays or federal holidays. • Grading and construction contractors shall use equipment that generates lower vibration levels, such as rubber-tired equipment rather than metal-tracked equipment when feasible. • Construction haul truck and materials delivery traffic shall avoid residential areas whenever feasible. • The construction contractor shall place noise- and vibration-generating construction equipment and locate construction staging areas away from sensitive uses whenever feasible. • The construction contractor shall use on-site electrical sources to power equipment rather than diesel generators where feasible. • All residential units within 500 feet (ft) of the construction site shall be sent a notice regarding the construction schedule. A sign legible at a distance of 50 ft shall also be posted at the construction site. All notices and the signs shall indicate the dates and durations of construction activities, as well as provide a telephone number for the "noise disturbance coordinator." 	General Manager of the City of Mission Viejo Department of Building and Safety, or designee	Prior to issuance of demolition permits

Table A: Mitigation and Monitoring Reporting Program

Mitigation Measures and Compliance Measures	Responsible Party	Timing for PDF or Mitigation Measure
<ul style="list-style-type: none"> A "noise disturbance coordinator" shall be established. The disturbance coordinator shall be responsible for responding to any local complaints about construction noise. The disturbance coordinator shall determine the cause of the noise complaint (e.g., starting too early, bad muffler) and shall be required to implement reasonable measures to reduce noise levels. 		
<p>Mitigation Measure NOI-2: Final Acoustical Report. Prior to the issuance of any certificates of occupancy, the Project Applicant/Developer shall submit a Final Acoustical Report, prepared by a qualified acoustical consultant, to the City. The Mission Viejo Department of Building and Safety, or designee, shall verify that the Final Acoustical Report demonstrates that all units with exterior façades, including all bedrooms and living rooms, comply with the City's interior noise standard (45 dBA Community Noise Equivalent Level [CNEL]). Noise reduction techniques that may be incorporated into construction plans to reduce interior noise levels include, but are not limited to: incorporation of upgraded windows and doors, improved wall construction, or reduced window and door sizes.</p>	Project Applicant/ Mission Viejo Department of Building and Safety, or designee	Prior to issuance of any certificates of occupancy
<p>Mitigation Measure NOI-3: Ventilation Requirements. Prior to the issuance of building permits, documentation shall be provided to the Mission Viejo Department of Building and Safety, or designee, demonstrating that the project buildings meet ventilation standards required by the California Building Code with windows closed. Mechanical ventilation, such as an air-conditioning system, shall be required as part of the project design for all on-site buildings/units.</p>	Mission Viejo Department of Building and Safety, or designee	Prior to issuance of building permits
4.14 Population and Housing		
The proposed project would not result in significant adverse impacts related to population and housing. No mitigation would be required.		
4.15 Public Services		
The proposed project would not result in significant adverse impacts related to public services. No mitigation would be required.		
4.16 Recreation		
The proposed project would not result in significant adverse impacts related to recreation. No mitigation would be required.		
4.17 Transportation/Traffic		
The proposed project would not result in significant adverse impacts related to transportation/traffic. No mitigation would be required.		
4.18 Tribal Cultural Resources		
The proposed project would not result in significant adverse impacts related to tribal cultural resources. No mitigation would be required.		

Table A: Mitigation and Monitoring Reporting Program

Mitigation Measures and Compliance Measures	Responsible Party	Timing for PDF or Mitigation Measure
4.19 Utilities/Service Systems		
The proposed project would not result in significant adverse impacts related to utilities/service systems. No mitigation would be required.		
4.20 Wildfire		
Mitigation Measure GEO-1, presented in Section 4.7, Geology and Soils, above, would be implemented to reduce potential project-related impacts related to wildfires to a less than significant level.		



MINUTES
Planning and Transportation Commission's
Design Review Committee
April 10, 2019

A regular Meeting of the Design Review Committee of **April 10, 2019 at 3:00 p.m.** in the Saddleback Room, at Mission Viejo City Hall, 200 Civic Center, Mission Viejo, California.

A complete copy of the agenda for the meeting containing the items as shown herein was posted on Friday, April 5, 2019 on the outdoor bulletin board at City Hall. Copies were also posted at the Montanoso Recreation and Fitness Center, 25800 Montanoso Drive, and the Norman P. Murray Community and Senior Center, 24932 Veterans Way.

Present: Vice Chair Robert Breton
Commissioner Bob Ruesch
Elaine Lister, Director of Community Development
Larry Longenecker, Planning Manager
Keith Rattay, Asst. City Manager/Director of Public Works
Philip Nitollama, Transportation Engineer
Angela Hannis, Administrative Assistant
Bob Yoder, Division President, Shea Homes
Brooke Doi, Director of Community Development, Shea Homes

AGENDA ITEM:

GENERAL PLAN AMENDMENT GPA2018-32/ZONE CHANGE ZC2018-21/PLANNED DEVELOPMENT PERMIT PDP2018-303/VARIANCE VAR2019-51

Director Lister gave an overview of the project. The developer is proposing 105 for sale three-story units; including 44 single-family homes and 61 multi-family unit townhomes with a project density of 15.6. Four existing retail buildings adjacent to Los Alisos Boulevard will remain. This project is projected to go before the Planning and Transportation Commission on May 13, 2019.

Bob Yoder introduced Brooke Doi who reviewed the site plan, including design elements of the units. All units will have side-by-side two car garages, with the exception of one town home model that will have a tandem two car garage. She explained the parking and traffic flow through the complex, adding that there will be 65 parking stalls on-site. City code requires 35 parking stalls. Ms. Doi reviewed the amenities including the pool, tot lot, shade structure and barbeque area. A six-foot block wall and 10 feet of landscaping will separate the complex from the retail center. The applicant noted that there is an adjacent three-acre property zoned for housing that is not part of this application. The tallest building is 42 feet, which is over the maximum 35 feet

allowed per City code. A homeowner's association will maintain the property with the exception of the rear yards of the units. The HOA will conduct garage inspections every six months to insure garages are used for parking. There will be no on-site manager.

Transportation Engineer, Nitollama noted there is no on street parking on Los Alisos, and it is police enforced. He reviewed the signal improvements, including a battery back-up system and the audio cross walk.

Palmia Residents in attendance were Beth Dorin, 21192 San Miguel; Betty Gilliland, 21282 Trivoli; and Gail Reavis, 21281 Astoria. Terrace View homeowner, Sylvia Mitcheltree, 218 Valley View Terrace, was also present. Concerns included negative impacts to the surrounding residential area regarding water, traffic and noise. The parking situation within the complex is also a concern. In addition, they stated the Los Alisos apartments that were built adjacent to the property were proposed as 240 townhomes, but were constructed as 350 apartment units. They wanted assurance that this project would not be a "bait and switch" proposal.

The applicant stated that the parking issues would be up to the management company to enforce, and there will be an HOA board. Director Lister noted the City will also want to ensure the on-site parking is properly managed. Director Lister also clarified that the proposed zoning for the site is RPD 30, but is it not "by right" zoning. If the zone change is approved, it would be approved in conjunction with the specific project. Residents were also concerned about traffic flow and speed along Los Alisos Boulevard during peak driving times, and exiting of driveways.

The applicant stated impacts to the residential community would be temporary during the construction phase, and the complex will use reclaimed water for the on-site landscaping. They will comply with all CEQA requirements.

Business owners Salvatore Faso, 28719 Los Alisos, owner of Piccolino's, and Jim and Diane Poettgen, 28813 Los Alisos, owners of Ballpark Pizza were in attendance. Concerns included the pedestrian bridge from the center to the Los Alisos apartment complex, stating that this is not utilized for foot traffic to the center, but rather for loitering and drug use. The business owners suggested closing the bridge and leaving it for emergency only access. While they agree the proposed parking is sufficient for the businesses, there are currently approximately 60-70 vehicles from the apartment complex that park in the business center overnight. Transportation Engineer Nitollama stated that signage could be installed for no overnight parking to alleviate the problem. Commissioner Breton also suggested calling a tow company. Director Lister suggested that Mr. Faso review a set of plans and send her an email with his comments including the bridge closure, and areas to add additional parking stalls. Director Lister corroborated with the business owners that the current property manager of the Foothill Ranch center has been lax on the general maintenance of the center.

ADJOURNMENT

With no further business to come before the Design Review Committee at this session, the meeting was adjourned at 4:40 p.m.

Submitted by:

Elaine Lister, Director of Community Development

CITY OF MISSION VIEJO
PLANNING AND TRANSPORTATION COMMISSION
NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning and Transportation Commission of the City of Mission Viejo will conduct a public hearing pertaining to the item listed below.

DATE OF HEARING: MONDAY, MAY 13, 2019
TIME OF HEARING: 6:30 P.M. or soon thereafter
LOCATION OF HEARING: City Council Chamber, City of Mission Viejo
200 Civic Center
Mission Viejo, CA 92691

PROPOSAL:

GENERAL PLAN AMENDMENT GPA2018-32 / ZONE CHANGE ZC2018-21 / PLANNED DEVELOPMENT PERMIT PDP2018-303 / VARIANCE VAR2019-51 / TENTATIVE TRACT MAP TTM18187

Petitions submitted by Brooke Doi with Shea Homes Limited Partnership to permit residential development on approximately 6.7 acres of the total 10.3-acre Mission Foothill shopping center site located at 28715 Los Alisos Boulevard. The subject property would be rezoned from CH (Commercial Highway) to RPD 30 (Residential Planned Development) and 99,500 square feet of existing retail space would be demolished to accommodate a new 105-dwelling-unit, for-sale project including 44 detached single-family units and 61 attached multi-family units. All units would be three stories with an overall project density of 15.6 du/ac. Four existing freestanding retail buildings, located adjacent to Los Alisos Boulevard, would remain with the residential development occurring to the northeast, between the retail buildings and the SR 241 Toll Road.

CEQA DETERMINATION:

The City of Mission Viejo is considering a recommendation that the project herein identified will have no significant environmental impact in compliance with Section 15070 of California Environmental Quality Act (CEQA) guidelines. A Mitigated Negative Declaration (MND) is being proposed in conjunction with the above proposal. Mitigation measures to reduce environmental impacts to less than significant levels have been provided in the following environmental categories: Geology and Soils, Noise, and Wildfire. Copies of the project MND and Initial Study are available for your review at the City of Mission Viejo Community Development Department, 200 Civic Center, Mission Viejo, CA 92691; at the Mission Viejo Library, 100 Civic Center, CA 92691, and on the Planning Division page of the City's website at <https://cityofmissionviejo.org/departments/community-development/planning>. The public review period extends from April 18, 2019 to May 8, 2019 at 5:00 p.m. Comments may be submitted in writing to Larry Longenecker, 200 Civic Center, Mission Viejo, CA 92691 or comments can be emailed to llongenecker@cityofmissionviejo.org.

INVITATION TO BE HEARD:

Those persons desiring to testify in favor of or in opposition to the proposal will be given an opportunity to do so at the public hearing. If you challenge the subject application in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence to the Planning and Transportation Commission at, or prior to the public hearing. If further information is desired, you may contact the Community Development Dept. at 949/470-3053.



Elaine Lister
Director of Community Development

Send proof of publication to:
City of Mission Viejo
200 Civic Center
Mission Viejo, CA 92691
Publish: April 18, 2019

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City of Mission Viejo Planning Application

GPA 2018-32
ZC 2018-21
PDP 2018-303

PROPERTY OWNER OF RECORD
NAME ROIC California, LLC - Richard Schoebel
ADDRESS 11250 El Camino Real, Suite 200, San Diego
PHONE 858-255-4902

FOR OFFICE USE ONLY
APPLICATION FOR: DATE: 6/5/18
Planned Development Permit, General Plan Amendment
FEE: \$4,200 CASE NO.: _____ and Zone Change
GPA - \$5,000 and ZC - \$5,000

AUTHORIZED AGENT
NAME Brooke Doi
ADDRESS 2 Ada, Suite 200, Irvine, CA 92618
PHONE 949-526-8837

PROJECT LOCATION
ADDRESS 28715 Los Alisos Blvd.

APPLICANT brooke.doi@sheahomes.com
NAME Shea Homes Limited Partnership
ADDRESS 2 Ada, Suite 200, Irvine, CA 92618
PHONE 949-526-8837
E-MAIL brooke.doi@sheahomes.com

ZONING AREA Community Commercial

ASSESSOR PARCEL NO. 839-161-12

TRACT/P.M. No. 95-158 LOT No. 1

PROJECT DESCRIPTION

Including as appropriate: use (existing and proposed); number (of buildings, stories, units, rooms); size (of site-acreage, building height/square footage); phasing (if long-term development); etc.
The existing site includes approx. 110,000 SF of retail space, the majority of which is vacant. The proposed new for sale residential community consists of 63 detached and 61 attached homes. The site is approx. 10.3 acres and will include enhancements to the remaining Mission Foothills retail parking lot and landscaping. The proposed homes are 3 stories at a height of 42.5 feet. The detached footages range from 1,886 SF to 2,130 SF and the attached footages range from 1,215 SF to 1,950 SF.

CERTIFICATION

I have read and understand the application requirements on the reverse side of this application. I certify that to the best of my knowledge the information I have presented in this form and accompanying materials is true and correct.

Richard K. Schoebel 6/4/18
Richard K. Schoebel, COO
PROPERTY OWNER OF RECORD DATE

Brooke Doi 6/7/18
Brooke Doi
AUTHORIZED AGENT DATE

Brooke Doi for Shea Homes 6/7/18
Brooke Doi for Shea Homes
APPLICANT DATE

FOR OFFICE USE ONLY APPROVALS AND ACTIONS Previous Related Items:

This Application: